

For Village Use Only:
Case Number: _____
Fee Paid: \$ _____

VILLAGE OF METTAWA

ZONING, PLANNING AND APPEALS COMMISSION APPLICATION

Check and complete all of the following, as applicable; attach a copy of a current survey of the real property which is the subject of the application, any attachments and file with the Village Clerk at least forty-five (45) days prior to the meeting during which this sought to be considered. All attachments to the application should not exceed 11" x 17" size. A complete electronic file of the application should be filed with the Village Clerk.

Twelve complete sets of the application will be filed with the Village Clerk prior to publication of the public hearing.

I. TYPE OF REQUEST

I. TYPE OF REQUEST

- Zoning Map Amendment
- Zoning Text Amendment
 - (attach amendatory language sought)

Change of Zoning District: From _____ To _____

Code Section(s) affected: 15 H

SPECIAL USE

- Planned Unit Development: Attach a description, and the proposed subdivider's agreement and site plan.
- Other - Describe _____

VARIATION

- | | | | |
|---|---|---|---------------------------------------|
| <input type="checkbox"/> Lot Area | <input type="checkbox"/> Lot Width | <input type="checkbox"/> Lot Dept | <input type="checkbox"/> Lot Coverage |
| <input type="checkbox"/> Maximum Height | <input type="checkbox"/> Ceiling Level Height | <input type="checkbox"/> Front Yard Setback | <input type="checkbox"/> Side Yard |
| <input type="checkbox"/> Rear Yard | <input type="checkbox"/> Off-Street Parking | <input type="checkbox"/> Off-Street Loading | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Floodplain | <input type="checkbox"/> Extend Variance | <input type="checkbox"/> Structural Alteration of Nonconformity | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Restoration of Nonconformity | <input type="checkbox"/> Continuance of Nonconformity | <input type="checkbox"/> Expansion of Nonconformity | |

SUBDIVISION OR RESUBDIVISION

- Attach three (3) copies of the proposed preliminary plat or proposed final plat, as the case may be, as well as twelve (12) sets of 11"x17" reductions

State the particular requirements of Mettawa Municipal Code which prevent the proposed use or construction:

State the characteristics of the subject property which prevent compliance with requirements of the Municipal Code:

State the minimum requirements which would be necessary to permit the proposed use or construction:

State the practical difficulty or particular hardship which would result if the aforesaid particular requirements of the Mettawa Municipal Code were applied to the subject property and/or to the proposed use or construction thereon:

- APPEAL** : In the notice of appeal from a decision of the Zoning Administrator, state briefly the requirements of the Zoning Code that are in contention:

II. THE REAL PROPERTY WHICH IS THE SUBJECT OF THIS REQUEST

Address or Commonly Known Location of the real property: St. Basil of Ostrog Serbian Orthodox Church

Applicant must provide list of, and send notice of hearing to, all property owners within a thousand (1,000) feet of the real property (2,000 feet for text amendments) and forward proof of mailing to the Village Clerk prior to the public hearing.

Permanent Real Estate Tax Index Number (PIN): 11-26-402-016-0000 11-26-402-025-0000 Presently Located in Zoning District

- R-1 Single Family Residence District O/R Planned Office/Research District
- R-2 Single Family Residence District H Office/Hotel District
- O/S Open Space District

- **Attach a copy of Title Insurance Policy or Current Commitment, and Complete Affidavit of Title Below**

III. APPLICATION FEES

- Zoning Amendment \$ 250.00 Special Use Permit \$ 250.00
- Subdivision or Resubdivision No Fee Variation \$ 250.00
- Appeal of Administrator's Decision \$ 250.00

- **In addition to the application fees, applicants are required to pay for all professional fees incurred by the Village for attorneys, engineers, land planners, etc., and costs related to public hearings.**

IV. APPLICANT AND OWNERSHIP INFORMATION

Name and address of titleholder(s) of record of the real property for which planning consideration is sought:

Saint Basil Serbian Orthodox Church, an Illinois religious corporation

- **If Owner of real property is a land trustee, attach a current certified copy of the Land Trust Agreement.**

Applicant is:

- The Owner (titleholder of record of the real property) Contractor-Purchaser of the Real Property

Is the Applicant in the business of general contractor or land development? Yes No

If the answer to last question is "Yes", does a proposed Subdivider's Agreement or Development Agreement executed by the Owner or Contract Purchaser accompany this application in quadruplicate? Yes No

Are there any leasehold interested on the property? Yes No If "Yes" attach a copy of each current lease.

	Applicant's Address	Applicant's Architect	Applicant's Attorney
Name:	St. Basil Serbian Orthodox Church, an Illinois religious corporation	Eli Balach	Danielle Grcic, Kolpak & Grcic LLC
Address:	27450 N. Bradley Rd Mettawa, IL 60045	2401 Sunnyslope Dr. Crown Point, IN 46307	6767 N. Milwaukee Ave., Suite 202 Niles, IL 60707
Telephone:	847 - 247 - 0077	425-736-3016	847-647-0336
Email Address:	office@stbasilchurch.org	ebalach@comcast.net	danielle@kgesq.com

V. SIGNATURES

Under penalty of law, the undersigned hereby represents, for the purpose of inducing the Village of Mettawa to take the action herein requested, that all statements and information contained herein and on all related attachments hereto are true and correct.

Dated this 8TH day of DECEMBER, 2019 [Signature], TRUSTEESHIP PRESIDENT
 Applicant

Consented To:

Record Owner of Land involved with this Application [Signature], TRUSTEESHIP PRESIDENT
 Co-Owner, if joint ownership _____

VI. DISCLOSURES

If the Owner and/or Applicant is a corporation or a partnership, complete the following:

Corporate – Partnership Ownership

Please list below the names and address of all officers and directors of the corporation and all shareholders who own individually or beneficially 5% or more of the outstanding stock of the corporation. In addition, this application must be accompanied by a resolution of the corporation authorizing the execution and submittal of this application. In the case of a partnership, list below the names and addresses of all partners who own individually or beneficially 5% or more of the partnership. (Attach additional pages, if necessary)

Name: _____	Name: _____
Address: _____	Address: _____
Telephone Number: _____	Telephone Number: _____
Title: _____	Title: _____
Ownership Percentage: _____	Ownership Percentage: _____
Name: _____	Name: _____
Address: _____	Address: _____
Telephone Number: _____	Telephone Number: _____
Title: _____	Title: _____
Ownership Percentage: _____	Ownership Percentage: _____

AFFIDAVIT OF TITLE

STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

The undersigned affiant, being first duly sworn, on oath states:

That, affiant has an interest in the real estate (herein "Real Property") legally described as shown in the title insurance policy or current commitment for title insurance, a true and exact copy of which is attached hereto and made a part hereof (herein "Title Insurance Policy");

That, since the date of the Title Insurance Policy, the title to the said Real Property remains vested in the person or persons shown on the Title Insurance Policy and, furthermore, no person has done or suffered to be done anything that could in any way affect the title to the Real Property since the date of the Title Insurance Policy;

That, if an updated report on title to the Real Property where procured on the date hereof, no additional objection would be raised with respect to any matter, including but not limited to any covenant, easement, mortgage lien, or other matter not shown or referenced in the Title Insurance Policy;

Affiant further states: Naught.

[Handwritten Signature]

Affiant

Subscribed and sworn to before me this 10th day of December, 2019.

Notary Public: *[Handwritten Signature]*

Notary Stamp:



Note: At least 45 days prior to the Commission meeting during the which the subject matter of this application will be considered, this completed form with all of required attachments and the applicable filing fee must be filed in person at the of Village Engineer's office.

Village Engineer
James Anderson Company
920 W. North Shore Drive
Lake Bluff, IL 60044
Office Number: (847)295-3322

Text Amendment

Text Amendment

The property in question is commonly known as, 27450 N. Bradley Rd., Mettawa, IL is currently zoned R-1 and is legally described as follows: See Attached Exhibit "A"

The applicant seeks a text amendment to complete a modernization and expansion of the existing religious place of worship. In the attached plans, the Applicant proposes to rejuvenate the exterior of the Property and building facade, expand the interior office space, classroom space and kitchen area. Currently, the property in question is home to the Saint Basil Serbian Orthodox Church and provides its parishioners with a place for Orthodox Christian Worship, Sunday religious education classes, Serbian Folklore instruction and language classes. The Social hall is used in conjunction with religious worship and offers the parishioners a convenient location for fellowship and stewardship. The unique nature of the Serbian Orthodox Religion calls for the parish to provide, religious worship (primarily on Sundays), education and community service and support.

The proposed plan will allow the Applicant to exercise its' religious purpose and provide a more comfortable atmosphere for the current members to enjoy the host of available programs. With this plan the community at large will see a more attractive structure that is in scale with the surrounding structures and uses. This is a continuation of the existing use of the existing members and is necessary to adequately serve the parish needs. With the proposal, the applicant will maintain the integrity of the landscape code, the sight distances, the environment and the standards of the surrounding community.

The proposed Text Amendment allows for the limited expansion while maintaining the spirit of the original text.

H. Notwithstanding anything to the contrary, an existing place of public assembly established prior to December 19, 2006, may be altered or expanded only in conformance with the following:

1. The place of public assembly shall petition for and receive a special use permit for such use. The place of public assembly shall comply with all conditions set forth for the special use.
2. The minimum lot size for the existing place of public assembly shall be 8 acres.
3. The gross floor area of all buildings and structures cannot exceed 30,000 square feet.
4. The maximum lot coverage shall be thirty percent.
5. The existing place of public assembly shall to comply with all building line requirements in existence at the time the place of public assembly was established.
6. All required off-street parking shall comply with the provisions of subsection B herein.
7. Landscaping shall comply with the provisions of subsection C. herein.
8. Exterior illumination shall comply with the provisions of subsection D herein.
9. Traffic shall comply with Subsection E herein.

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Case Number: _____

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Zoning Text Amendment

- (attach amendatory language sought)

Code Section(s) affected: _____

SPECIAL USE

- Planned Unit Development: Attach a description, and the proposed subdivider's agreement and site plan.
 Other – Describe to modernize and enhance the existing facilities

VARIATION

- | | | | |
|---|---|---|---------------------------------------|
| <input type="checkbox"/> Lot Area | <input type="checkbox"/> Lot Width | <input type="checkbox"/> Lot Dept | <input type="checkbox"/> Lot Coverage |
| <input type="checkbox"/> Maximum Height | <input type="checkbox"/> Ceiling Level Height | <input type="checkbox"/> Front Yard Setback | <input type="checkbox"/> Side Yard |
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- Variation \$ 250.00

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- **If Owner of real property is a land trustee, attach a current certified copy of the Land Trust Agreement.**

Applicant is:

- The Owner (titleholder of record of the real property)
- Contractor-Purchaser of the Real Property

Is the Applicant in the business of general contractor or land development? Yes No

If the answer to last question is "Yes", does a proposed Subdivider's Agreement or Development Agreement executed by the Owner or Contract Purchaser accompany this application in quadruplicate? Yes No

Are there any leasehold interested on the property? Yes No If "Yes" attach a copy of each current lease.

	Applicant's Address	Applicant's Architect	Applicant's Attorney
Name:	St. Basil Serbian Orthodox Church, an Illinois religious corporation	Eli Balach	Danielle Grcic, Kolpak & Grcic LLC
Address:	27450 N. Bradley Rd. Mettawa, IL 60048	2401 Sunnyslope Dr., Crown Point, IN 46307	6767 N. Milwaukee Ave., Suite 202 Niles, IL 60707
Telephone:	847 - 247 - 0077	425-736-3016	847-647-0336
Email Address:	office@stbasilchurch.org	ebalach@comcast.net	danielle@kgesq.com

V. SIGNATURES

Under penalty of law, the undersigned hereby represents, for the purpose of inducing the Village of Mettawa to take the action herein requested, that all statements and information contained herein and on all related attachments hereto are true and correct.

Dated this 8TH day of DEMBER, 2019

[Signature], TRUSTEESHIP PRESIDENT
Applicant

Consented To:

Record Owner of Land involved with this Application

Co-Owner, if joint ownership

[Signature], TRUSTEESHIP PRESIDENT

VI. DISCLOSURES

If the Owner and/or Applicant is a corporation or a partnership, complete the following:

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Name: _____	Name: _____
Address: _____	Address: _____
Telephone Number: _____	Telephone Number: _____
Title: _____	Title: _____
Ownership Percentage: _____	Ownership Percentage: _____
Name: _____	Name: _____
Address: _____	Address: _____
Telephone Number: _____	Telephone Number: _____
Title: _____	Title: _____
Ownership Percentage: _____	Ownership Percentage: _____

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) SS.
COUNTY OF LAKE)

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That, since the date of the Title Insurance Policy, the title to the said Real Property remains vested in the person or persons shown on the Title Insurance Policy and, furthermore, no person has done or suffered to be done anything that could in any way affect the title to the Real Property since the date of the Title Insurance Policy;

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Affiant further states: Naught.

[Handwritten Signature] Affiant

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Notary Public: *[Handwritten Signature]*

Notary Stamp:



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Village Engineer
James Anderson Company
920 W. North Shore Drive
Lake Bluff, IL 60044
Office Number: (847)295-3322

Special Use

Special Use Permit

The property in question is commonly known as, 14077 W. Old School Road., Mettawa, IL is currently zoned R-1 and is legally described as follows: See Attached Exhibit "A"

The applicant seeks a special use permit to come in compliance with the requirements of section 15.1106(H). The project before you contemplates an expansion and modernization of the existing religious place of worship. In the attached plans, the Applicant proposes to rejuvenate the exterior of the Property and building, expand the interior office space, classroom space and kitchen area. Currently, the space in question is home to the Saint Basil Serbian Orthodox Church and provides its parishioners with a place for Orthodox Christian Worship, Sunday religious education classes, Serbian Folklore instruction and language classes. The Social hall is used in conjunction with religious worship and offers the parishioners a convenient location for fellowship and stewardship. The unique nature of the Serbian Orthodox Religion calls for the parish to provide, religious worship (primarily on Sundays), education and community service and support.

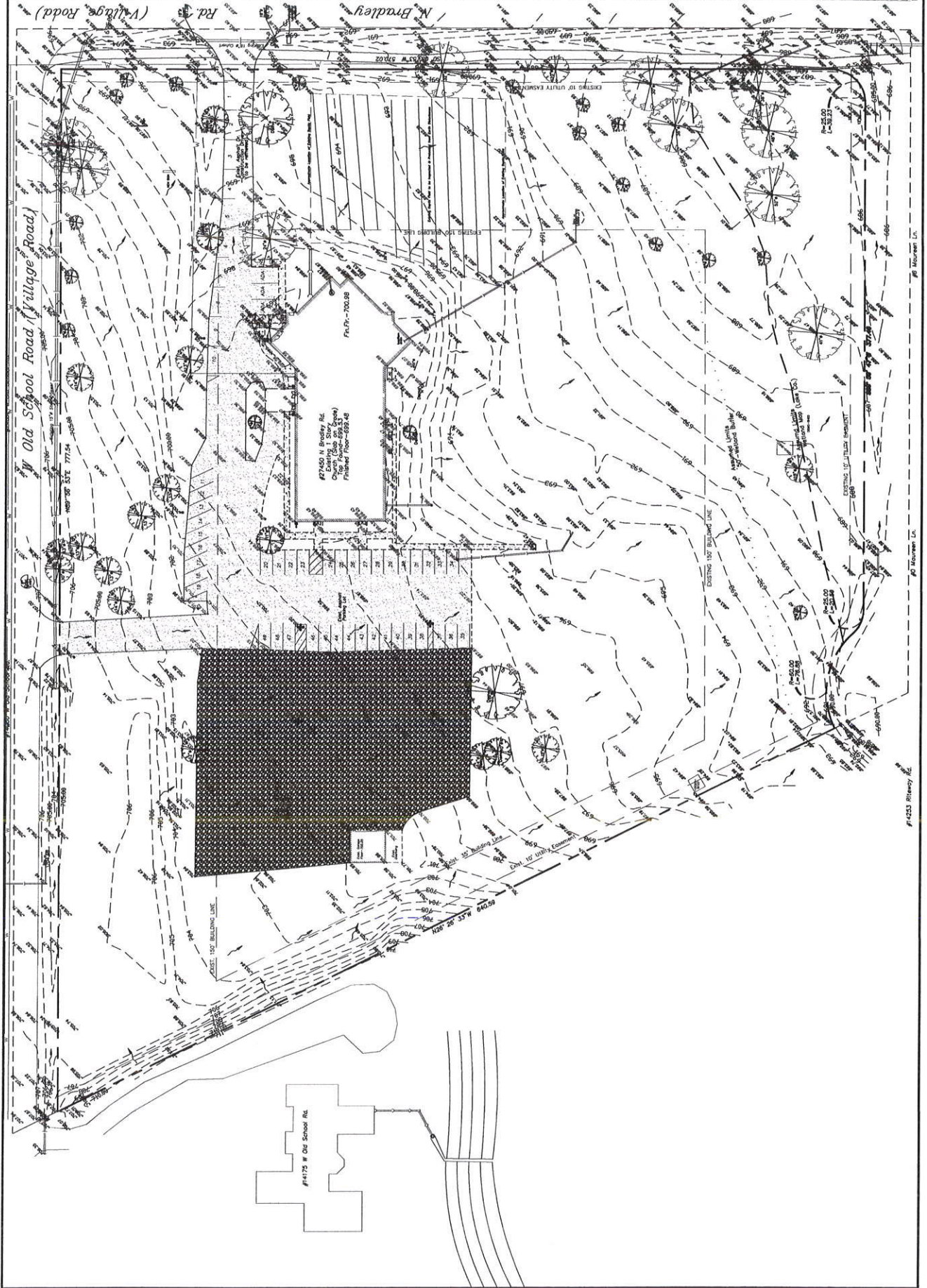
The proposed plan will allow the Applicant to exercise its' religious purpose and provide a more comfortable atmosphere for the current members to enjoy the host of available programs. With this plan the community at large will see a more attractive structure that is in scale with the surrounding structures and uses. This is a continuation of the existing use of the existing members and is necessary to adequately serve the parish needs. With the proposal, the applicant will maintain the integrity of the landscape code, the sight distances, the environment and the standards of the surrounding community. The following factors are integral in understanding the Applicant's request:

1. An expanded church is not detrimental and will not endanger the public health, safety, morals, or general welfare. The Church will continue to provide a service that is in the public interest and contribute to the general welfare of the neighborhood.
2. The location and size of the proposed structure is in conformance with the new code updates and text amendments.
3. The special use will not be injurious to the use and enjoyment of the other property in the immediate vicinity of the subject property. The proposed expanded church will not increase the intensity of the use of the site beyond an acceptable level. Granting the special use permit will not adversely affect property or property values in the neighborhood, will not unduly aggravate traffic conditions and will not unduly burden the essential public services pertaining to public health, safety or welfare. The proposed upgrade will simply increase the footprint of the building; it will not increase the use. Furthermore, the applicant shall continue to work with the Lake County Sherriff to provide traffic management for the annual festival.
4. The nature location and size of the building will not be injurious to the land adjacent to the property. The proposal simply requests that the current footprint of the structure increase, approximately 78% in order to adequately house the current parishioners. The

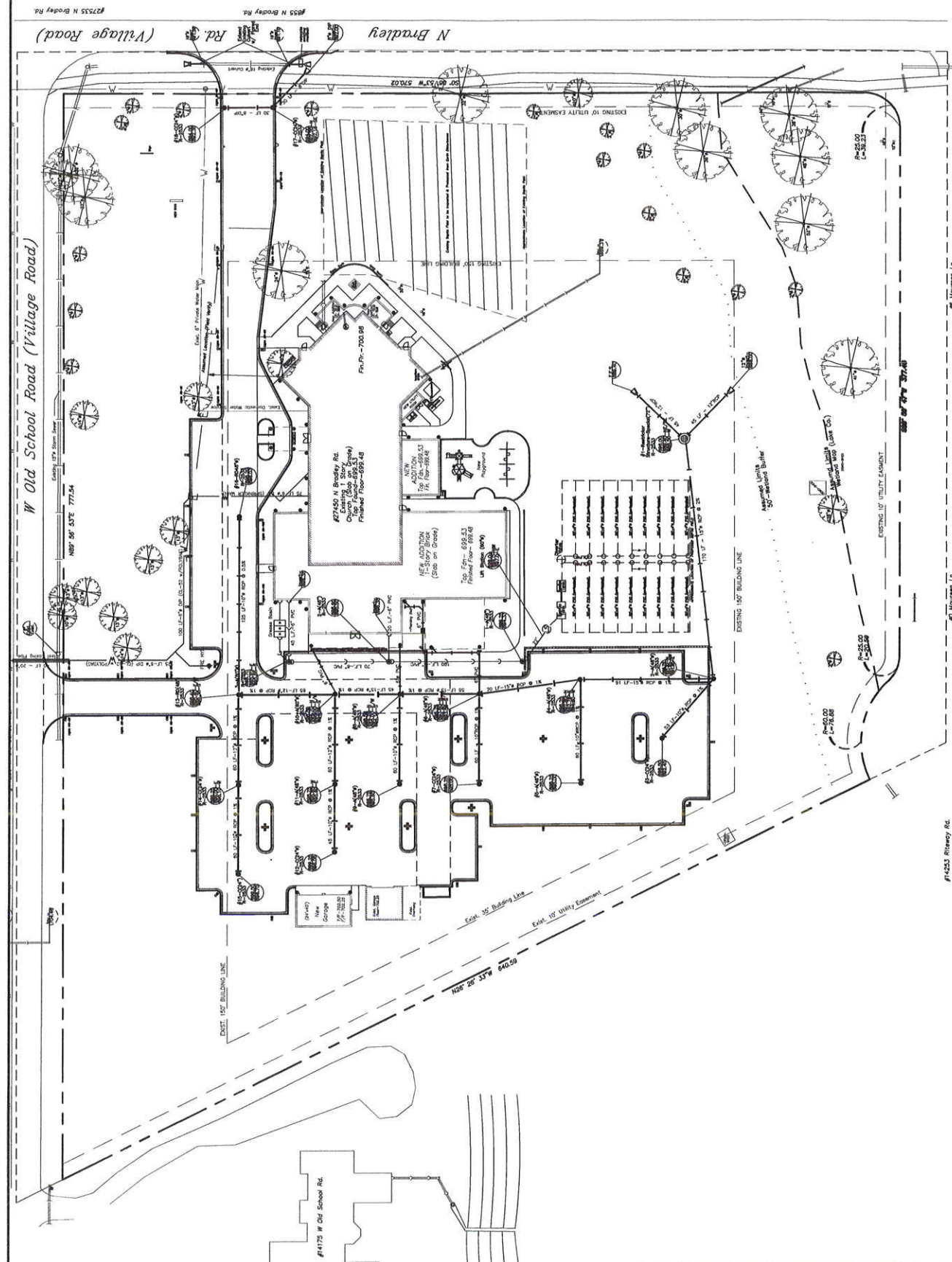
proposed structure will not alter or be contrary to the current established uses in the area and in the Village as a whole.

5. The present utilities, access streets, drainage and other necessary facilities are adequate as they exist today to service the proposed use.
6. Parking areas are an adequate size for the special use and are marked, screened and designated in a way not to be a nuisance to the neighbors or the Village. The expansion will accommodate the existing parishioners by allowing more space to participate in the already existing structure.
7. The religious assembly use will not alter or be contrary to the primary purpose of the zoning district or the area in which it is proposed. The right to build, buy, lease a place to assemble for worship is an indispensable part of religious freedom and the right to exercise faith requires adequate facilities for religious needs.

<p> NORMAN J. TOBERMAN & ASSOCIATES, LLC CIVIL ENGINEERS & SURVEYORS 27430 N BRADLEY ROAD METAWA, IL 60045 N. Bradley Road: 184-009-918 Fax: 184-009-921 E-mail: njtoberman@njtoberman.com </p>			
<p> EXISTING CONDITIONS & DEMO PLAN CHURCH RENOVATION & ADDITION ST. BASIL OF OSTROG SERBIAN ORTHODOX CHURCH METAWA, IL 60045 </p>			
PROJECT NO: 117-0011 DATE: 11/20/21 DESIGNER: [Signature] APPROVED BY: [Signature]		SHEET NO: C-1P TOTAL SHEETS: 19-699B	



PRELIMINARY - NOT FOR CONSTRUCTION
 #14253 Rite-way Rd.
 #14253 Rite-way Rd.
 #14253 Rite-way Rd.
 #14253 Rite-way Rd.



PRELIMINARY - NOT FOR CONSTRUCTION

UTILITY PLAN

CHURCH RENOVATION & ADDITION
 ST. BASIL OF OSTROG SERBIAN ORTHODOX CHURCH
 27450 N BRADLEY ROAD
 METTAWA, IL 60045

NORMAN J. TOBERMAN & ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 118 E. WILSON ROAD, SUITE 300, METTAWA, IL 60045
 P: 815.462.8100
 F: 815.462.8101
 WWW.NJTOBERMAN.COM
 L: 04/20/18 (P. 00000001)



C-3P
 SHEET NO.
 DATE: 11/20/21
 DRAWN BY: [Name]
 APPROVED BY: [Signature]

DATE	REVISION
11/20/21	1. ISSUED FOR PERMITS
11/20/21	2. REVISED PER COMMENTS
11/20/21	3. REVISED PER COMMENTS
11/20/21	4. REVISED PER COMMENTS
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11/20/21	10. REVISED PER COMMENTS

#14253 Riteway Rd.

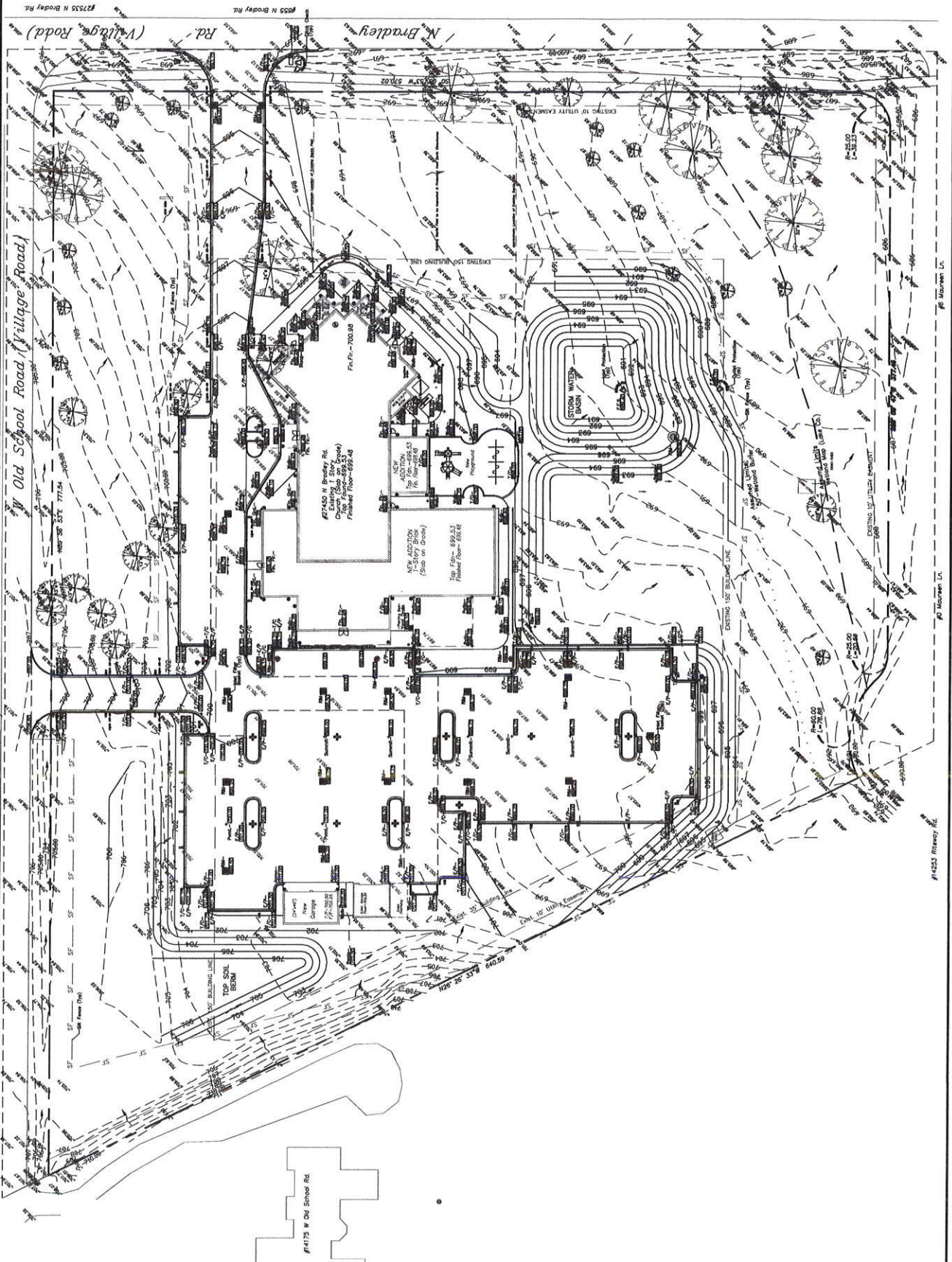
#14253 Riteway Rd.

#14253 Riteway Rd.

W Old School Road (Village Road)

N Bradley Rd (Village Road)

#11725 W Old School Rd.



REVISIONS

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Scale: 1" = 30'

North Arrow

NORMAN J. TOBERMAN & ASSOCIATES, LLC
 CIVIL ENGINEERS & SURVEYORS
 1118 N. WISLA ROAD, SUITE 202, METTAWA, IL 60045
 P. 815.336.1234
 F. 815.336.1235
 E. INFO@NJTOLBERMAN.COM

GRADING & EROSION PLAN
 CHURCH RENOVATION & ADDITION
 ST. BASIL OF OSTROG SERBIAN ORTHODOX CHURCH
 27450 N BRADLEY ROAD
 METTAWA, IL 60045

C-4P
 Sheet No.
 DATE: 11/17/21
 DESIGNED BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

19-6980

PRELIMINARY - NOT FOR CONSTRUCTION

Old School Road (Village Road)

N. Bradley Rd.

R. Mowen Ln.

R. Mowen Ln.

R. Mowen Ln.

R. Mowen Ln.

ALL DIMENSIONS ARE IN FEET AND INCHES
© 2014

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RENOVATION / ADDITION EXIST'G CHURCH BUILDING

ST. BASIL OF OSTROG SKOPJE CATHEDRAL
1750 N. HAVLY 8000
LIVE FOREVER, N. 8000

arketset
ARCHITECTURE
OF INTERIOR

5011 S. University Blvd.
Suite 100
Salt Lake City, UT 84143
801-487-7226
arketset.com

NOVEMBER 4, 2019

PROJECT NO. 19-001

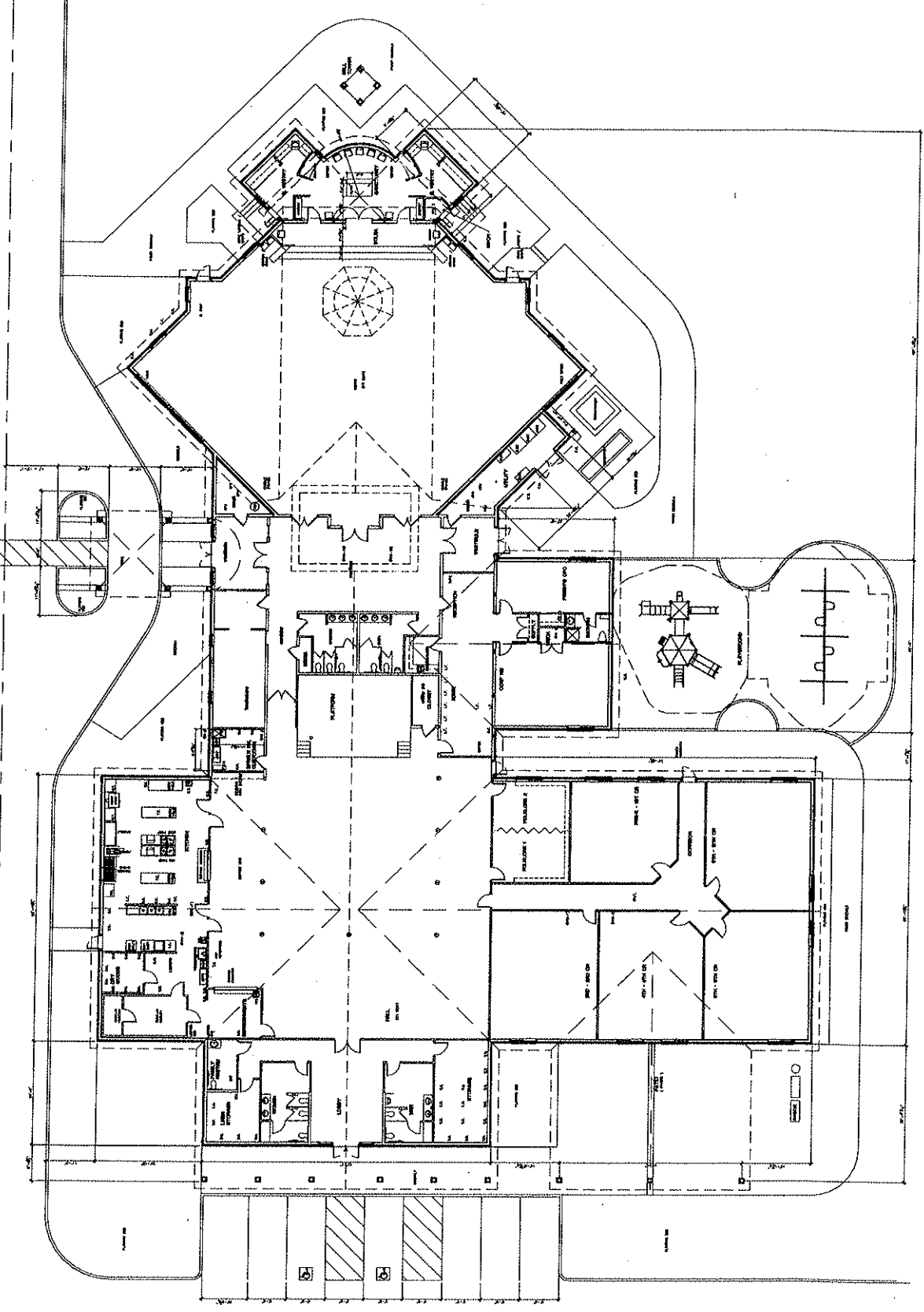
DATE: 11/04/19

DESIGNER: E.S.

PERMITTED FLOOR PLAN

SD-1

SCALE: 1/4" = 1'-0"



FLOOR PLAN
3/32" = 1'-0"

© 2014

NO.	DATE	REVISIONS
1		
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10		

**RENOVATION / ADDITION
EXIST'G CHURCH BUILDING**

ST. SIMON OF OSTROG SERBAN ORTHODOX CHURCH
27450 N. BRADLEY ROAD
LAKE FOREST, IL 60045

arketset
ARCHITECTURE P.C.

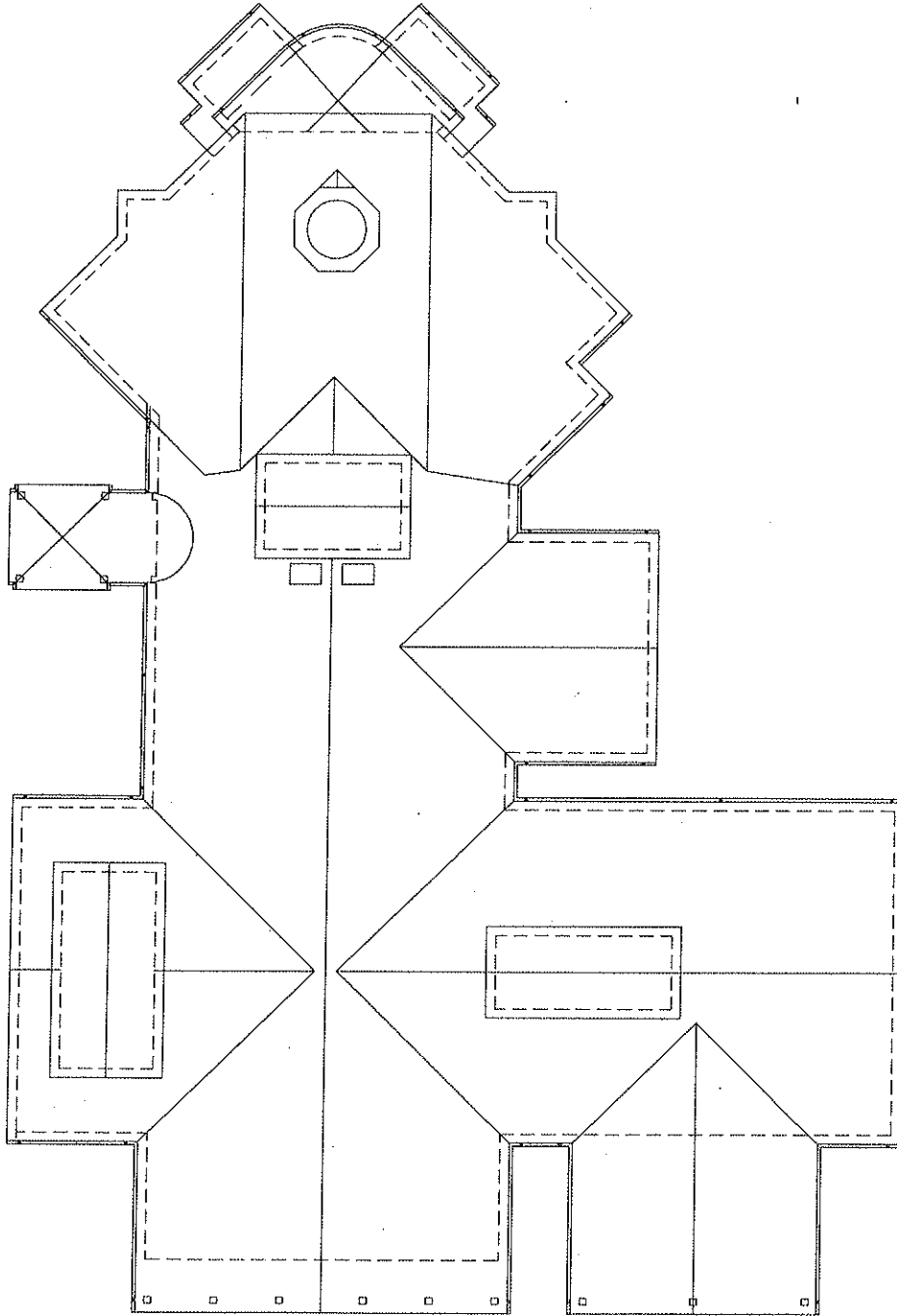
2431 North Lake Shore
Chicago, Illinois 60614
425 • 736-2075
arketset@comcast.net

NOVEMBER 4, 2019

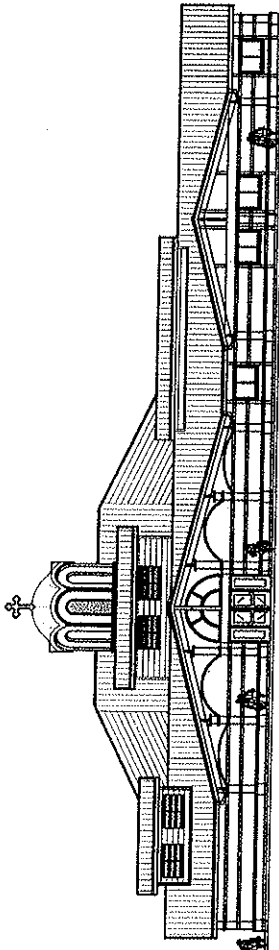
PROJECT NO. EB
SHEET NO. ROOF
PLAN

SD-12

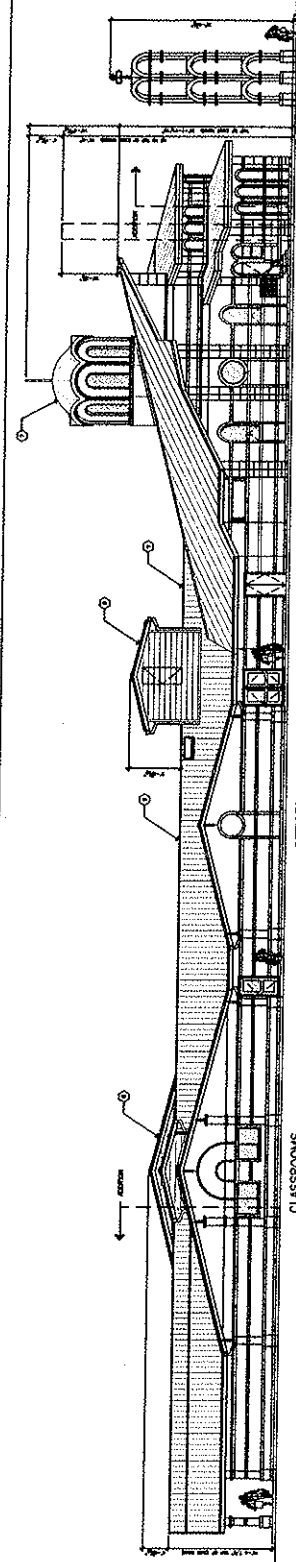
1402



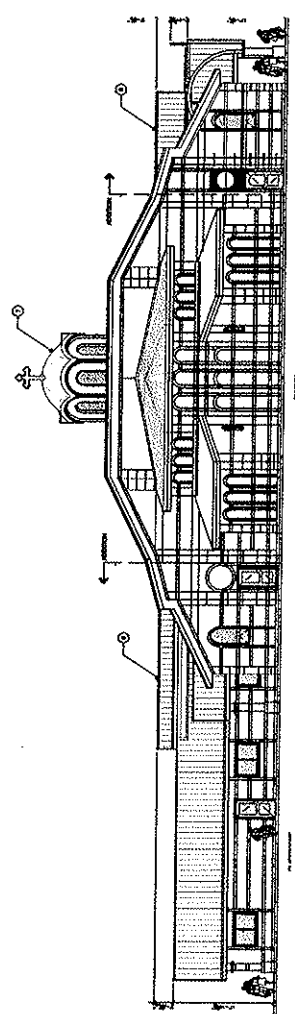
ROOF PLAN
3/32" = 1'-0"



17 WEST ELEVATION
3/32" = 1'-0"

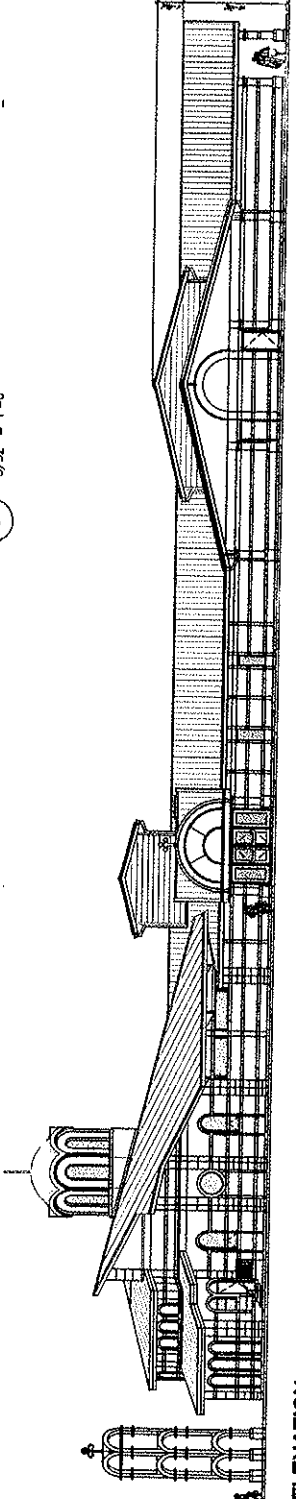


18 SOUTH ELEVATION
3/32" = 1'-0"



19 EAST ELEVATION
3/32" = 1'-0"

7 PARTIAL EAST ELEVATION - BELL TOWER SUPERIMPOSED
3/32" = 1'-0"



20 NORTH ELEVATION
3/32" = 1'-0"

EU BULACH, ARCHITECT
© 2014

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		

RENOVATION / ADDITION
EXIST'G CHURCH BUILDING
ST. BASIL OF OSTROG BETHLEHEM ORTHODOX CHURCH
27450 N. 292ND ROAD
LAKE FOREST, IL 60045

arketset
ARCHITECTURE
BY DESIGN

2401 Sunnyside Drive
Crown Point, IN 46307
425 - 738 2018
ark@arketset.com

NOVEMBER 4, 2019
SHEET NO. 1402
DATE PLOTTED: 11/14/19 10:58 AM
PROJECT: ST. BASIL OF OSTROG BETHLEHEM ORTHODOX CHURCH
SHEET: EXTERIOR BUILDING ELEVATIONS

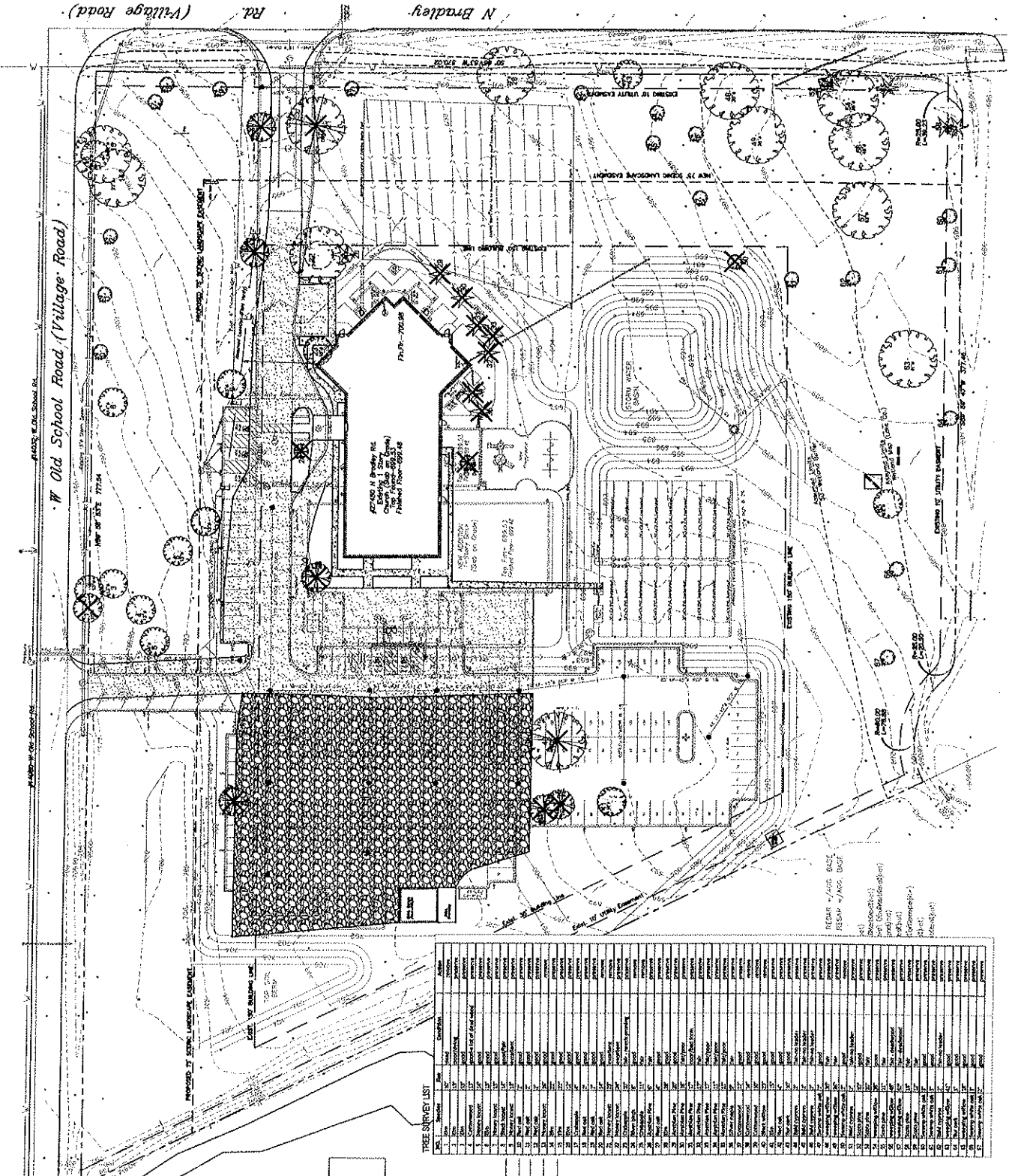
SD-3.3

TREE PRESERVATION NOTES

1. Contractor shall locate tree preservation markings as shown on this plan and preserve trees, shrubs and other plants. Stumps of removed trees shall be removed within the limits of the 10' protection fence.
2. Tree stumps shall be ground to a maximum depth of 18" below existing grade or as required to properly perform the work.
3. Remove any debris or soil where planting holes are indicated. Backfill with topsoil and grade to match existing landscape topography.
4. Where soil or plantings are proposed in existing paved areas, remove all base material.
5. Areas indicated for removal shall include complete removal of structures on site, or where applicable, shall include complete removal of existing utility lines and structures, unless otherwise noted on the plans.
6. Measures of ground at existing utility and all other utilities shall be maintained. The contractor shall be responsible for maintaining any existing utility or other structures at the time of construction.
7. Contractor responsible for maintaining existing utility lines (electrical, sanitary, storm) during construction unless otherwise indicated in the Contract Documents.
8. Refer to specifications for additional conditions, materials and methods.

TREE PRESERVATION LEGEND

- Tree preservation fence
- Tree to be removed



TREE SURVEY LIST

No.	Tree	Species	DBH	Height	Condition	Remarks
1
2
3
4
5
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30
31
32
33
34
35
36
37
38
39
40
41
42
43
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45
46
47
48
49
50



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 Northbrook, IL 60062
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 F 847.581.1727
 HitchcockDesignGroup.com

PREPARED FOR
**St. Basil of Ostrog
 Serbian Orthodox
 Church**
 27450 N Bradley Road
 Mettawa, IL 60045

**Church Renovation
 & Addition**
 27450 N Bradley Road
 Mettawa, IL 60045

ISSUED November 3, 2019

No.	Date	Revisions

CHECKED BY: [Signature]
 DRAWN BY: [Signature]
SHEET TITLE
Tree Preservation
Plan

SCALE IN FEET
 1" = 30'
 0" 15' 30' 45'
 NORTH

SHEET NUMBER
L1.0

61255 Mettawa Drive, Chicago, IL 60645



21 E. Chicago Avenue
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PREPARED FOR
St. Basil of Ostrogo
Serbian Orthodox
Church
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Mattawa, IL 60045

PROJECT
Church Renovation
& Addition
27450 N. Bradley Road
Mattawa, IL 60045

NO.	DATE	REVISIONS

ISSUED
November 3, 2017
REVISIONS

DESIGNED BY
DWG

CHECKED BY
MFW

SCALE IN FEET
1" = 30'
0' 15" 30'

NORTH

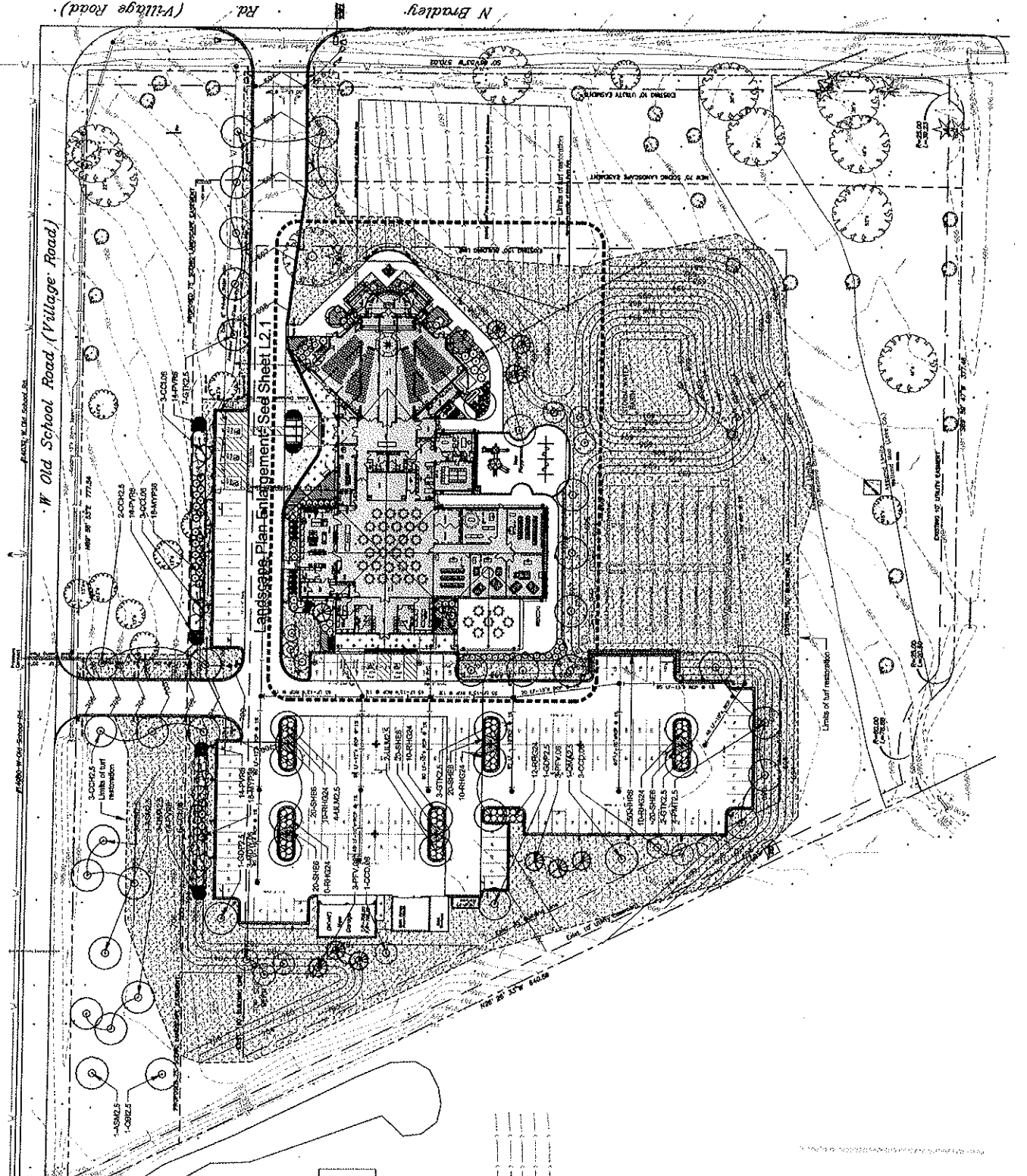
SHEET NUMBER
L2.0

©2016 Hitchcock Design Group

- PLANTING NOTES**
1. Seed lists are in accordance with local codes. Seed lists are in accordance with local codes. Seed lists are in accordance with local codes. Seed lists are in accordance with local codes. Seed lists are in accordance with local codes.
 2. Contractor responsible for obtaining all necessary permits and approvals.
 3. Plants are to be installed as specified in the schedule. Plants are to be installed as specified in the schedule. Plants are to be installed as specified in the schedule. Plants are to be installed as specified in the schedule.
 4. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule.
 5. The contractor shall provide all necessary irrigation and drainage systems. The contractor shall provide all necessary irrigation and drainage systems. The contractor shall provide all necessary irrigation and drainage systems.
 6. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule.
 7. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule.
 8. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule.
 9. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule. All plants are to be installed in accordance with the schedule.

PLANTING LEGEND

- Shrub Tree, Typical
- Columnar Tree, Typical
- Overhead Tree, Typical
- Evergreen Tree, Typical
- Shrub, Typical
- Planting Schedule and Annual, Typical



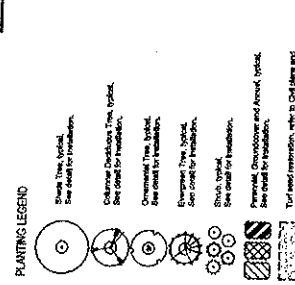


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PREPARED FOR
**St. Basil of Ostrog
Serbian Orthodox
Church**
27450 N Bradley Road
Mettawa, IL 60045

PROJECT
**Church Renovation
& Addition**

27450 N Bradley Road
Mettawa, IL 60045



- PLANTING NOTES**
1. See notes on site plan for planting and placement. Contractor responsible for all site preparation, including excavation, grading, and drainage. Coordinate with landscape contractor for all site preparation.
 2. Contractor responsible for the entire cost of all plant materials.
 3. Fertilize and water 4" of compost 1/2" of lime and 1/2" of bone meal for each tree. Fertilize and water 1" of compost 1/2" of lime and 1/2" of bone meal for each shrub. Fertilize and water 1/2" of compost 1/2" of lime and 1/2" of bone meal for each plant.
 4. Install mulch at 12" depth in protected areas. Install mulch at 2" depth around all trees and shrubs.
 5. Three main types of trees are shown: 5" caliper, 6" caliper, and 8" caliper. All trees are to be planted in the ground. All trees are to be planted in the ground. All trees are to be planted in the ground.
 6. Do not locate plants within 12" of utility lines, overhead wires, or other structures. Do not locate plants within 12" of utility lines, overhead wires, or other structures. Do not locate plants within 12" of utility lines, overhead wires, or other structures.
 7. Do not locate plants within 12" of utility lines, overhead wires, or other structures. Do not locate plants within 12" of utility lines, overhead wires, or other structures. Do not locate plants within 12" of utility lines, overhead wires, or other structures.
 8. FOR LAMP GLASS CONTRACTORS: Plants and other materials are identified and summarized for the convenience of the contractor. Contractor is responsible for the procurement of all materials. No additional payments will be made for materials not specified.
 9. SEE ALL NOTES ON CONTRACTS. Payment will be made by the Client upon completion of the project.

PLANT MATERIAL LIST

Code	Plant Name	Quantity	Size	City
10001	1" Caliper White Birch	10	1" C	CH
10002	1" Caliper Red Pine	10	1" C	CH
10003	1" Caliper Norway Spruce	10	1" C	CH
10004	1" Caliper Eastern White Pine	10	1" C	CH
10005	1" Caliper Black Spruce	10	1" C	CH
10006	1" Caliper White Pine	10	1" C	CH
10007	1" Caliper Red Pine	10	1" C	CH
10008	1" Caliper Norway Spruce	10	1" C	CH
10009	1" Caliper Eastern White Pine	10	1" C	CH
10010	1" Caliper Black Spruce	10	1" C	CH
10011	1" Caliper White Pine	10	1" C	CH
10012	1" Caliper Red Pine	10	1" C	CH
10013	1" Caliper Norway Spruce	10	1" C	CH
10014	1" Caliper Eastern White Pine	10	1" C	CH
10015	1" Caliper Black Spruce	10	1" C	CH
10016	1" Caliper White Pine	10	1" C	CH
10017	1" Caliper Red Pine	10	1" C	CH
10018	1" Caliper Norway Spruce	10	1" C	CH
10019	1" Caliper Eastern White Pine	10	1" C	CH
10020	1" Caliper Black Spruce	10	1" C	CH
10021	1" Caliper White Pine	10	1" C	CH
10022	1" Caliper Red Pine	10	1" C	CH
10023	1" Caliper Norway Spruce	10	1" C	CH
10024	1" Caliper Eastern White Pine	10	1" C	CH
10025	1" Caliper Black Spruce	10	1" C	CH
10026	1" Caliper White Pine	10	1" C	CH
10027	1" Caliper Red Pine	10	1" C	CH
10028	1" Caliper Norway Spruce	10	1" C	CH
10029	1" Caliper Eastern White Pine	10	1" C	CH
10030	1" Caliper Black Spruce	10	1" C	CH
10031	1" Caliper White Pine	10	1" C	CH
10032	1" Caliper Red Pine	10	1" C	CH
10033	1" Caliper Norway Spruce	10	1" C	CH
10034	1" Caliper Eastern White Pine	10	1" C	CH
10035	1" Caliper Black Spruce	10	1" C	CH
10036	1" Caliper White Pine	10	1" C	CH
10037	1" Caliper Red Pine	10	1" C	CH
10038	1" Caliper Norway Spruce	10	1" C	CH
10039	1" Caliper Eastern White Pine	10	1" C	CH
10040	1" Caliper Black Spruce	10	1" C	CH
10041	1" Caliper White Pine	10	1" C	CH
10042	1" Caliper Red Pine	10	1" C	CH
10043	1" Caliper Norway Spruce	10	1" C	CH
10044	1" Caliper Eastern White Pine	10	1" C	CH
10045	1" Caliper Black Spruce	10	1" C	CH
10046	1" Caliper White Pine	10	1" C	CH
10047	1" Caliper Red Pine	10	1" C	CH
10048	1" Caliper Norway Spruce	10	1" C	CH
10049	1" Caliper Eastern White Pine	10	1" C	CH
10050	1" Caliper Black Spruce	10	1" C	CH
10051	1" Caliper White Pine	10	1" C	CH
10052	1" Caliper Red Pine	10	1" C	CH
10053	1" Caliper Norway Spruce	10	1" C	CH
10054	1" Caliper Eastern White Pine	10	1" C	CH
10055	1" Caliper Black Spruce	10	1" C	CH
10056	1" Caliper White Pine	10	1" C	CH
10057	1" Caliper Red Pine	10	1" C	CH
10058	1" Caliper Norway Spruce	10	1" C	CH
10059	1" Caliper Eastern White Pine	10	1" C	CH
10060	1" Caliper Black Spruce	10	1" C	CH
10061	1" Caliper White Pine	10	1" C	CH
10062	1" Caliper Red Pine	10	1" C	CH
10063	1" Caliper Norway Spruce	10	1" C	CH
10064	1" Caliper Eastern White Pine	10	1" C	CH
10065	1" Caliper Black Spruce	10	1" C	CH
10066	1" Caliper White Pine	10	1" C	CH
10067	1" Caliper Red Pine	10	1" C	CH
10068	1" Caliper Norway Spruce	10	1" C	CH
10069	1" Caliper Eastern White Pine	10	1" C	CH
10070	1" Caliper Black Spruce	10	1" C	CH
10071	1" Caliper White Pine	10	1" C	CH
10072	1" Caliper Red Pine	10	1" C	CH
10073	1" Caliper Norway Spruce	10	1" C	CH
10074	1" Caliper Eastern White Pine	10	1" C	CH
10075	1" Caliper Black Spruce	10	1" C	CH
10076	1" Caliper White Pine	10	1" C	CH
10077	1" Caliper Red Pine	10	1" C	CH
10078	1" Caliper Norway Spruce	10	1" C	CH
10079	1" Caliper Eastern White Pine	10	1" C	CH
10080	1" Caliper Black Spruce	10	1" C	CH
10081	1" Caliper White Pine	10	1" C	CH
10082	1" Caliper Red Pine	10	1" C	CH
10083	1" Caliper Norway Spruce	10	1" C	CH
10084	1" Caliper Eastern White Pine	10	1" C	CH
10085	1" Caliper Black Spruce	10	1" C	CH
10086	1" Caliper White Pine	10	1" C	CH
10087	1" Caliper Red Pine	10	1" C	CH
10088	1" Caliper Norway Spruce	10	1" C	CH
10089	1" Caliper Eastern White Pine	10	1" C	CH
10090	1" Caliper Black Spruce	10	1" C	CH
10091	1" Caliper White Pine	10	1" C	CH
10092	1" Caliper Red Pine	10	1" C	CH
10093	1" Caliper Norway Spruce	10	1" C	CH
10094	1" Caliper Eastern White Pine	10	1" C	CH
10095	1" Caliper Black Spruce	10	1" C	CH
10096	1" Caliper White Pine	10	1" C	CH
10097	1" Caliper Red Pine	10	1" C	CH
10098	1" Caliper Norway Spruce	10	1" C	CH
10099	1" Caliper Eastern White Pine	10	1" C	CH
10100	1" Caliper Black Spruce	10	1" C	CH

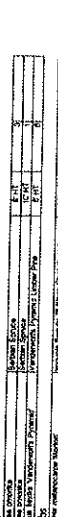
ISSUED
November 3, 2019

REVISIONS

No.	Date	Revision
1	11/03/19	Issue

CHECKED BY: DAF
DRAWN BY: MPW

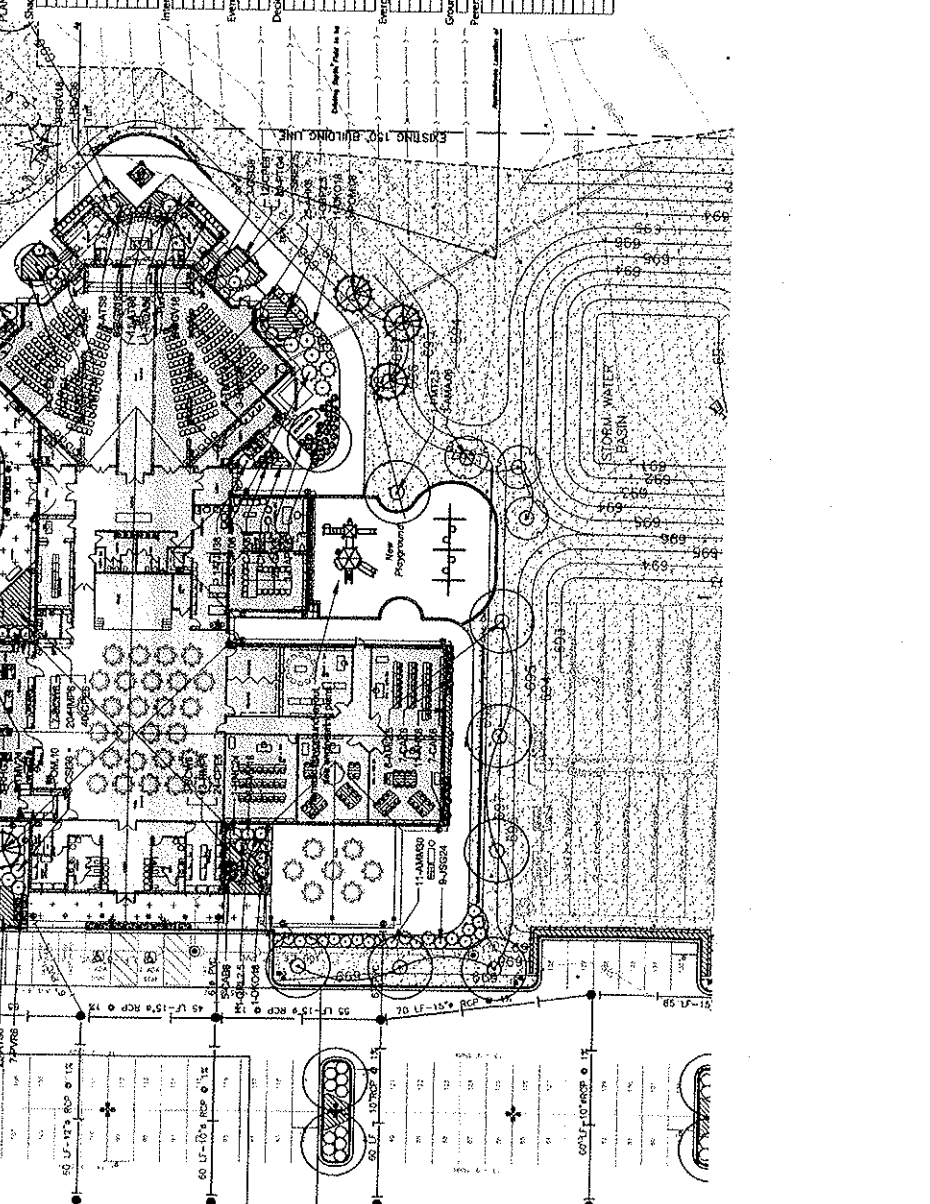
SHEET TITLE
**Landscape Plan
Enlargement**



NORTH

SHEET NUMBER
L2.1

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 hitchcockdesigngroup.com

PREPARED FOR
 St. Basil of Ostrog
 Serbian Orthodox
 Church
 27450 N Bradley Road
 Mettawa, IL 60045

PROJECT NO. 19-001
**Church Renovation
 & Addition**
 27450 N Bradley Road
 Mettawa, IL 60045

NO.	DATE	REVISIONS

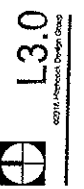
CHECKED BY
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DRAWN BY
 MPM

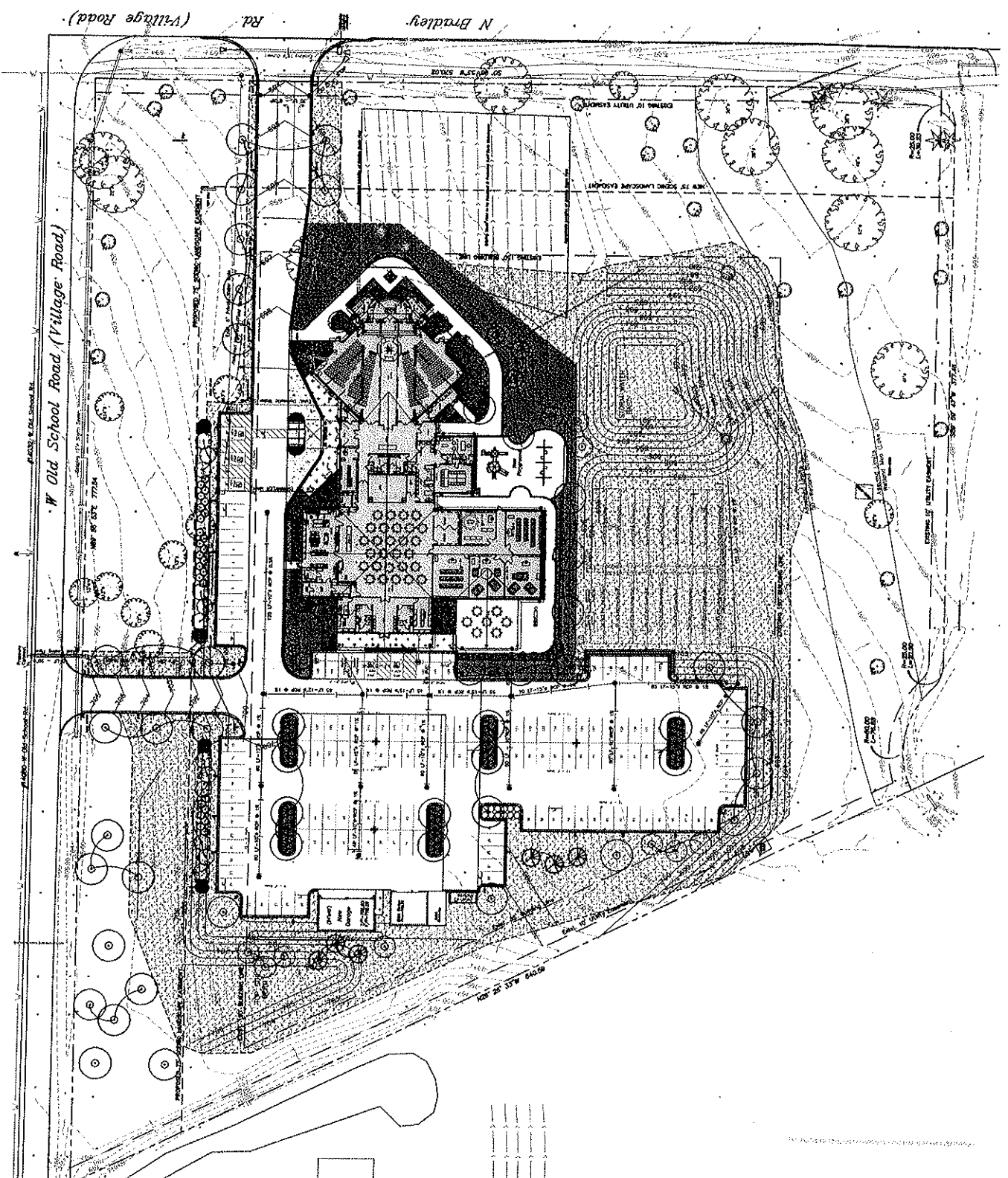
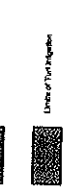
SHEET TITLE
Irrigation Areas

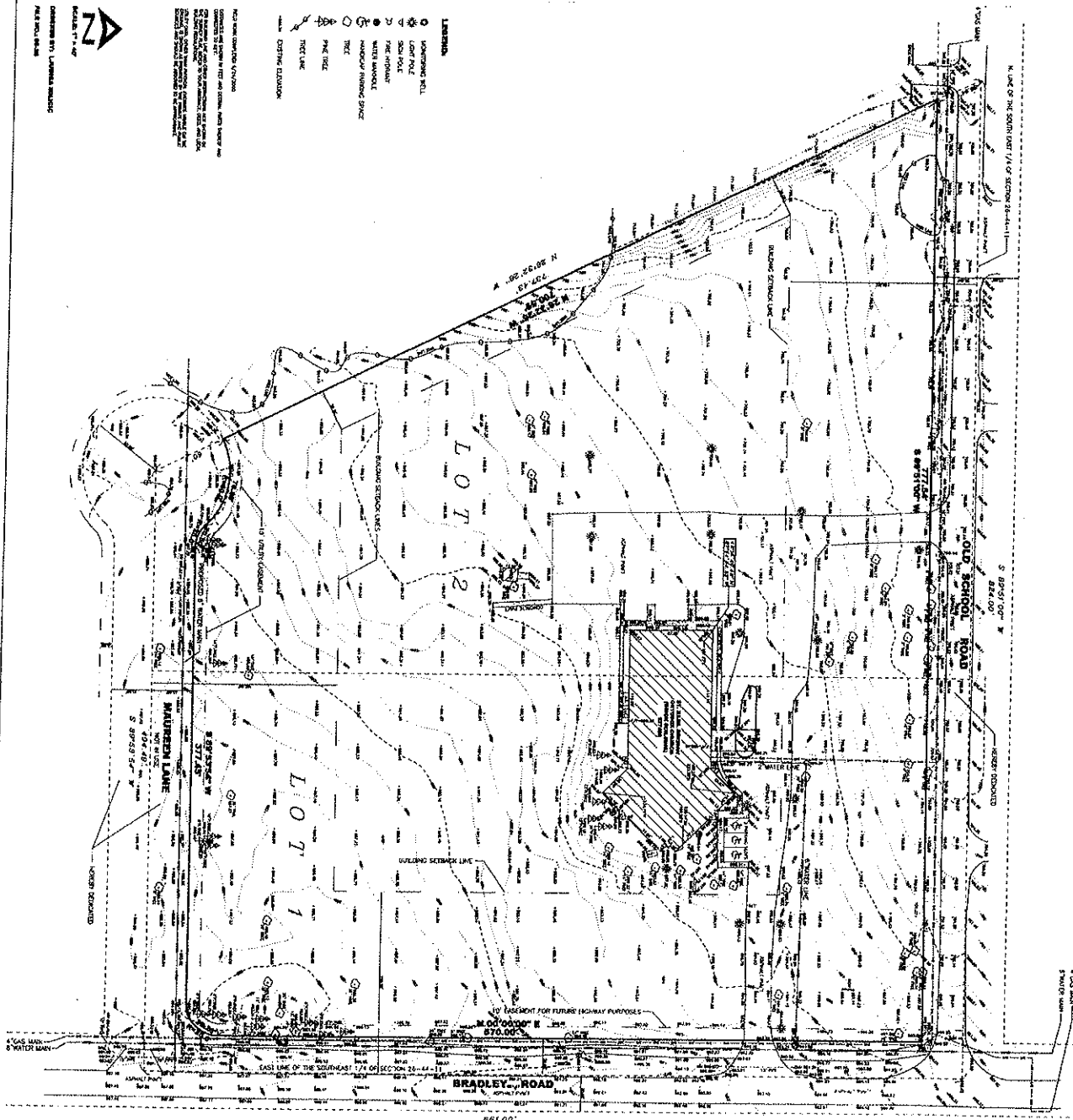
SCALE IN FEET
 1" = 30'
 0' 15' 30'

SHEET NUMBER
L3.0



RENOVATION LEGEND





CHICAGOLAND SURVEY COMPANY
 6501 W. 65TH STREET CHICAGO, ILLINOIS 60638 (773) 271-9447
 CHICAGOLANDSURVEY@CSBCOLAND.NET

TOPOGRAPHIC SURVEY
 OF

NOTE: THIS IS A TOPOGRAPHIC SURVEY OF THE PROPERTY, AND A REPRESENTATION OF THE PROPERTY AS OF THE DATE OF THE SURVEY. IT IS NOT A TITLE SURVEY. THE PROPERTY IS DESCRIBED IN THE INSTRUMENT NUMBERED AS DOCUMENT 1844266001, FILED IN THE PUBLIC RECORDS OF THE COUNTY OF COOK, ILLINOIS, ON APRIL 10, 1979, CONTAINING 30 ACRES IN LOT 1, COUNTY OF COOK, ILLINOIS.

PROJECT NUMBER: AB-21000 NORTH BRADLEY ROAD, WETTEREN, ILLINOIS

J.M. ABBAS-02-000

LEGEND:

- IRON PIN
- IRON ROD
- IRON ROD WITH CAP
- CONCRETE MONUMENT
- WOODEN MONUMENT
- TEXT LINE
- PAVE FIELD
- CUTTING ELEVATION

NOTES:

1. THIS SURVEY WAS CONDUCTED ON 10/12/2000.

2. THE PROPERTY IS DESCRIBED IN THE INSTRUMENT NUMBERED AS DOCUMENT 1844266001, FILED IN THE PUBLIC RECORDS OF THE COUNTY OF COOK, ILLINOIS, ON APRIL 10, 1979, CONTAINING 30 ACRES IN LOT 1, COUNTY OF COOK, ILLINOIS.

3. THE PROPERTY IS DESCRIBED IN THE INSTRUMENT NUMBERED AS DOCUMENT 1844266001, FILED IN THE PUBLIC RECORDS OF THE COUNTY OF COOK, ILLINOIS, ON APRIL 10, 1979, CONTAINING 30 ACRES IN LOT 1, COUNTY OF COOK, ILLINOIS.

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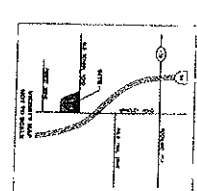
6. THE PROPERTY IS DESCRIBED IN THE INSTRUMENT NUMBERED AS DOCUMENT 1844266001, FILED IN THE PUBLIC RECORDS OF THE COUNTY OF COOK, ILLINOIS, ON APRIL 10, 1979, CONTAINING 30 ACRES IN LOT 1, COUNTY OF COOK, ILLINOIS.

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CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY (1992)
SCHEDULE A

POLICY NO. : 1409 000628630 NSC

DATE OF POLICY: SEPTEMBER 24, 1999

AMOUNT OF INSURANCE: \$1,600,000.00

1. NAME OF INSURED:

SAINT BASIL SERBIAN ORTHODOX CHURCH, AN ILLINOIS RELIGIOUS CORPORATION

2. THE ESTATE OR INTEREST IN THE LAND AND WHICH IS COVERED BY THIS POLICY IS A FEE SIMPLE, UNLESS OTHERWISE NOTED.

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:
THE INSURED.

4. THE LAND HEREIN DESCRIBED IS ENCUMBERED BY THE FOLLOWING MORTGAGE OR TRUST DEED AND ASSIGNMENTS:

MORTGAGE DATED SEPTEMBER 20, 1999 AND RECORDED SEPTEMBER 24, 1999 AS DOCUMENT NO. 4425025, MADE BY SAINT BASIL SERBIAN ORTHODOX CHURCH, AN ILLINOIS RELIGIOUS CORPORATION, TO LABE FEDERAL BANK, TO SECURE A NOTE FOR \$900,000.00.

AND THE MORTGAGES OR TRUST DEEDS, IF ANY, SHOWN IN SCHEDULE B HEREOF.

THIS POLICY VALID ONLY IF SCHEDULE B IS ATTACHED.

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY (1992)
SCHEDULE A (CONTINUED)

POLICY NO. : 1409 000628630 NSC

5. THE LAND REFERRED TO IN THIS POLICY IS DESCRIBED AS FOLLOWS:

PARCEL 1: LOT 1 IN CHURCH OF THE REDEEMER SUBDIVISION, BEING A RESUBDIVISION OF LOTS 1 AND 2 IN ROLLING MEADOWS OF METTAWA SUBDIVISION, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED SEPTEMBER 24, 1999 AS DOCUMENT 4425023, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS OVER MAUREEN LANE, (EXCEPT FOR THAT PART IN PARCEL 1) AS SHOWN ON THE PLAT OF SUBDIVISION RECORDED APRIL 10, 1979 AS DOCUMENT 1987676

THIS POLICY VALID ONLY IF SCHEDULE B IS ATTACHED.

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY (1992)
SCHEDULE B

1409 000628630 NSC

NOTWITHSTANDING THE PROVISIONS OF THE CONDITIONS AND STIPULATIONS OF THIS POLICY, ALL ENDORSEMENTS, IF ANY, ATTACHED HERETO ARE VALID DESPITE THE LACK OF SIGNATURE BY EITHER THE PRESIDENT, A VICE PRESIDENT, THE SECRETARY, AN ASSISTANT SECRETARY, OR VALIDATING OFFICER OR AUTHORIZED SIGNATORY OF THE COMPANY.

EXCEPTIONS FROM COVERAGE

THIS POLICY DOES NOT INSURE AGAINST LOSS OR DAMAGE SUSTAINED BY THE INSURED (AND THE COMPANY WILL NOT PAY COSTS, ATTORNEY'S FEES OR EXPENSES) BY REASON OF THE FOLLOWING EXCEPTIONS:

GENERAL EXCEPTIONS:

- (1) RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY PUBLIC RECORDS.
- (2) ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES, OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY AND INSPECTION OF THE PREMISES.
- (3) EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
- (4) ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
- (5) TAXES OR SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS.

SPECIAL EXCEPTIONS: THE MORTGAGE, IF ANY, REFERRED TO IN ITEM 4 OF SCHEDULE A.

A 6. TAXES FOR THE YEAR 1999.

1999 TAXES ARE NOT YET DUE OR PAYABLE

INFORMATION ONLY: THERE WERE NO GENERAL TAXES ASSESSED AGAINST THE LAND FOR THE YEAR 1998, SAME BEING MARKED "EXEMPT-CHURCH OF THE REDEEMER", PURSUANT TO DOCKET NO. 8549-127. THE LAND IS ASSESSED \$48.80 FOR PERMANENT ANNUAL DRAINAGE ASSESSMENT.

PERMANENT INDEX NUMBER: 11-26-402-016

- D 7. UTILITY EASEMENT OVER THE SOUTHERLY 10 FEET OF THE LAND HEREIN, AS CREATED BY THE PLAT OF ROLLING MEADOWS OF METTAWA RECORDED AS DOCUMENT 1987676 AND AS DEPICTED ON THE PLAT OF CHURCH OF THE REDEEMER SUBDIVISION.
- E 8. EASEMENT IN FAVOR OF COMMONWEALTH EDISON COMPANY, NORTH SHORE GAS COMPANY, AMERITECH TELEPHONE COMPANY, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY, TOGETHER WITH THE RIGHT OF ACCESS TO SAID EQUIPMENT, AND THE PROVISIONS RELATING THERETO AS CREATED BY THE PLAT OF ROLLING MEADOWS OF METTAWA RECORDED AS DOCUMENT 1987676 AND AS DEPICTED ON THE PLAT OF CHURCH OF THE REDEEMER SUBDIVISION, AFFECTING THE SOUTHERLY 10 FEET OF THE LAND.
- F 9. BUILDING SETBACK LINE 150 FEET SOUTH OF THE NORTH LINE, WEST OF THE EAST

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY (1992)
SCHEDULE B

1409 000628630 NSC

EXCEPTIONS FROM COVERAGE
(CONTINUED)

LINE, NORTH OF THE SOUTH LINE AND 35 FEET EAST OF THE WEST LINE OF UNDERLYING LOT 1 IN ROLLING MEADOWS OF METTAWA; AND 35 FEET WEST OF THE EAST LINE, EASTERLY OF THE WESTERLY LINE AND 150 FEET SOUTH OF THE NORTH LINE AND NORTH OF THE SOUTH LINE AND BACK FROM THE CUL-DE-SAC OF UNDERLYING LOT 2 IN ROLLING MEADOWS OF METTAWA.

- G 10. EASEMENT FOR FUTURE HIGHWAY PURPOSES OVER THE EAST 10 FEET OF LOT 1, AS CREATED BY THE PLAT OF ROLLING MEADOWS OF METTAWA RECORDED AS DOCUMENT 1987676 AND AS DEPICTED ON THE PLAT OF CHURCH OF THE REDEEMER SUBDIVISION.
- H 11. NOTATION ON THE PLAT OF SAID SUBDIVISION: INGRESS AND EGRESS TO ALL LOTS WILL BE LIMITED TO MAUREEN LANE.
- Q 12. RESTRICTION CONTAINED IN DEEDS FOR LOT 1 RECORDED AS DOCUMENT 2047283 AND LOT 2 RECORDED AS DOCUMENT 2078034 THAT THE GRANTEE IS 'TO USE BRADLEY ROAD AND OLD SCHOOL ROAD FOR INGRESS AND EGRESS AND NOT ANY PRIVATE ROAD', AND AS NOTED ON THE PLAT OF RESUBDIVISION.
- I 13. NOTATION ON THE PLAT OF ROLLING MEADOWS OF METTAWA SUBDIVISION: AN EASEMENT FOR DRAINAGE PURPOSES AND WATER MAIN OPERATION AND MAINTENANCE IS RESERVED OVER MAUREEN LANE.
- J 14. EASEMENT FOR INGRESS AND EGRESS OVER THAT PART OF THE LAND FALLING IN MAUREEN LANE, AS SHOWN ON PLAT OF ROLLING MEADOWS OF METTAWA SUBDIVISION.
- O 15. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENT DESCRIBED AS PARCEL 2 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENT.
(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT.
- S 16. UNRECORDED EASEMENTS, IF ANY, IN FAVOR OF THE VILLAGE OF METTAWA AND AMERITECH.
- T 17. UNRECORDED EASEMENT FOR FIRE HYDRANT AS DISCLOSED BY LETTER FROM THE LAKE COUNTY DEPARTMENT OF PUBLIC WORKS DATED SEPTEMBER 7, 1999.
- U 18. DRAINAGE AND UTILITY EASEMENT OVER THE SOUTHWESTERLY 10 FEET, AS SHOWN ON PLAT OF RESUBDIVISION.
- V 19. BUILDING LINE 150 FEET SOUTHERLY OF THE NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 26, 150 FEET WESTERLY OF THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 26, 150 FEET NORTHERLY OF THE SOUTHERLY LOT LINE, AND 35 FEET NORTHEASTERLY OF THE SOUTHWESTERLY LOT LINE, AS SHOWN ON PLAT OF RESUBDIVISION.

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY (1992)
SCHEDULE B

1409 000628630 NSC

EXCEPTIONS FROM COVERAGE
(CONTINUED)

- W 20. VIOLATION OF THE UNDERLYING 35 FOOT SETBACKS NOTED AT EXCEPTION LETTER "F", AS SHOWN ON PLAT OF RESUBDIVISION.
- Z 21. ASSIGNMENT OF RENTS DATED SEPTEMBER 20, 1999 AND RECORDED SEPTEMBER 24, 1999 AS DOCUMENT NO. 4425026, MADE BY SAINT BASIL SERBIAN ORTHODOX CHURCH, AN ILLINOIS RELIGIOUS CORPORATION, TO LABE FEDERAL BANK.

CHICAGO TITLE INSURANCE COMPANY
POLICY SIGNATURE PAGE

POLICY NO. : 1409 000628630 NSC

THIS POLICY SHALL NOT BE VALID OR BINDING UNTIL SIGNED BY AN AUTHORIZED SIGNATORY.

CHICAGO TITLE INSURANCE COMPANY

BY _____
AUTHORIZED SIGNATORY

ENDORSEMENT

ATTACHED TO AND FORMING A PART OF

POLICY NUMBER: 1409 - 000628630 - NSC

ISSUED BY

CHICAGO TITLE INSURANCE COMPANY

RESTRICTIONS ENDORSEMENT 4

THE COMPANY HEREBY INSURES THE INSURED AGAINST LOSS OR DAMAGE WHICH THE INSURED SHALL SUSTAIN BY REASON OF THE ENTRY OF ANY COURT ORDER OR JUDGMENT WHICH CONSTITUTES A FINAL DETERMINATION AND DENIES THE RIGHT TO MAINTAIN THE EXISTING IMPROVEMENTS ON THE LAND BECAUSE OF THE VIOLATION OR VIOLATIONS SPECIFICALLY SET FORTH AT EXCEPTION LETTER(S) "H" IN SCHEDULE B OF THE COVENANTS, CONDITIONS OR RESTRICTIONS.

THIS ENDORSEMENT IS MADE A PART OF THE POLICY AND IS SUBJECT TO ALL OF THE TERMS AND PROVISIONS THEREOF AND OF ANY PRIOR ENDORSEMENTS THERETO. EXCEPT TO THE EXTENT EXPRESSLY STATED, IT NEITHER MODIFIES ANY OF THE TERMS AND PROVISIONS OF THE POLICY AND ANY PRIOR ENDORSEMENTS, NOR DOES IT EXTEND THE EFFECTIVE DATE OF THE POLICY AND ANY PRIOR ENDORSEMENTS, NOR DOES IT INCREASE THE FACE AMOUNT THEREOF.

ENDORSEMENT

ATTACHED TO AND FORMING A PART OF

POLICY NUMBER: 1409 - 000628630 - NSC

ISSUED BY

CHICAGO TITLE INSURANCE COMPANY

POLICY MODIFICATION ENDORSEMENT 4

GENERAL EXCEPTION NUMBER(S) 1, 3, 4 & 5 OF SCHEDULE B OF THIS POLICY ARE HEREBY DELETED.

THIS ENDORSEMENT IS MADE A PART OF THE POLICY AND IS SUBJECT TO ALL OF THE TERMS AND PROVISIONS THEREOF AND OF ANY PRIOR ENDORSEMENTS THERETO. EXCEPT TO THE EXTENT EXPRESSLY STATED, IT NEITHER MODIFIES ANY OF THE TERMS AND PROVISIONS OF THE POLICY AND ANY PRIOR ENDORSEMENTS, NOR DOES IT EXTEND THE EFFECTIVE DATE OF THE POLICY AND ANY PRIOR ENDORSEMENTS, NOR DOES IT INCREASE THE FACE AMOUNT THEREOF.

This document was prepared by and after recording return to:
Klein Thorpe and Jenkins, Ltd.
20 N. Wacker Drive, Suite 1660
Chicago, Illinois 60606
Attn: Gregory T. Smith

Image# 055660320010 Type: EAS
Recorded: 10/31/2016 at 09:39:18 AM
Receipt#: 2016-00067736
Page 1 of 10
Fees: \$45.00
IL Rental Housing Fund: \$9.00
Lake County IL Recorder
Mary Ellen Vanderventer Recorder
File **7342718**

GRANT OF DRAINAGE EASEMENT

This GRANT OF DRAINAGE EASEMENT (the "Easement") is made and entered into this 22 day of September, 2016, by and between SAINT BASIL SERBIAN ORTHODOX CHURCH, an Illinois religious corporation, of 27450 North Bradley Road (the "GRANTOR"), and the VILLAGE OF METTAWA, an Illinois municipal corporation, of 26225 North Riverwoods Boulevard, Box M, Mettawa, Illinois 60045 (the "GRANTEE").

RECITALS

WHEREAS, GRANTOR is the owner of fee simple title to a parcel of real property located in Lake County, Illinois, as legally described and depicted in GROUP EXHIBIT A, respectively, attached hereto and made a part hereof (the "Property"), and is in possession thereof; and

WHEREAS, GRANTEE proposes to construct a storm sewer across the north east corner of the property and improve the grading along Bradley Road on the Property; and

366675_2

WHEREAS, GRANTOR has agreed to grant to GRANTEE a permanent non-exclusive easement for drainage purposes consisting of five hundred square feet (500') area on that portion of the Property depicted and legally described in GROUP EXHIBIT A, labeled as the "storm sewer easement" (the "Permanent Easement Premises"), subject to the terms and conditions set forth herein; and

WHEREAS, GRANTOR has agreed to grant to GRANTEE a temporary non-exclusive easement for grading purposes consisting of twenty seven thousand six hundred ten square feet (27,610') area on that portion of the Property depicted in GROUP EXHIBIT A, labeled as the "20 foot temporary grading easement" (the "Temporary Easement Premises"), subject to the terms and conditions set forth herein; and

NOW, THEREFORE, for and in consideration of the premises and the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, GRANTOR does hereby grant easements to GRANTEE as follows:

1. RECITALS. GRANTOR and GRANTEE acknowledge that the foregoing recitals are true and correct and hereby incorporated into this Paragraph 1 as though fully set forth herein.

2. GRANT OF PERMANENT DRAINAGE EASEMENT. GRANTOR hereby grants and conveys to GRANTEE and its elected officials, employees, licensees, agents, independent contractors, successors and assigns, a permanent non-exclusive easement, in, over, upon, across and through the Permanent Easement Premises, for constructing, reconstructing, laying, installing, operating, maintaining, relocating, repairing, replacing, improving, removing and inspecting a storm sewer, as well as ingress and egress in, over, under, upon, across and

through the Property with full rights and authority to enter upon and excavate the Property and to cut, trim and remove trees, bushes, roots and saplings and to clear obstructions from the surface and sub-surface on and in the vicinity of the Permanent Easement Premises, so that the Permanent Easement Premises may be maintained in a condition suitable for the purposes set forth herein.

3. **GRANT OF TEMPORARY GRADING EASEMENT.** GRANTOR hereby grants and conveys to GRANTEE and its elected officials, employees, licensees, agents, independent contractors, successors and assigns, a temporary non-exclusive easement, in, over, upon, across and through the Temporary Easement Premises, constructing, reconstructing, laying, installing, operating, maintaining, relocating, repairing, replacing, improving, removing and inspecting drainage swale improvements, as well as ingress and egress in, over, under, upon, across and through the Property with full rights and authority to enter upon and excavate the Property and to cut, trim and remove trees, bushes, roots and saplings and to clear obstructions from the surface and sub-surface on and in the vicinity of the Temporary Easement Premises, so that the Temporary Easement Premises may be maintained in a condition suitable for the purposes set forth herein.

4. **USE OF EASEMENT.** GRANTEE shall have the right to do all things necessary, useful or convenient for the purposes outlined in Paragraphs 1, 2 and 3, above. GRANTOR hereby covenants that GRANTEE shall have quiet and peaceful possession, use and enjoyment of the Permanent Easement Premises and Temporary Easement Premises granted herein. GRANTOR shall maintain at its sole cost the Property and the Permanent Easement Premises and the Temporary Easement Premises, with the exception of the storm sewer on the Permanent Easement Premises, which shall be maintained by GRANTEE at its sole cost.

5. **COVENANTS RUNNING WITH THE LAND.** This Easement, and all the rights, conditions, covenants and interests set forth herein and created hereby are intended to and shall run with the land and shall be binding upon and inuring to the benefit of the GRANTOR and GRANTEE and their respective successors and assigns.

5. **TERM OF EASEMENT.** This Easement shall be perpetual in duration with respect to the Permanent Easement Premises. This Easement shall be temporary in duration with respect to the Temporary Easement Premises, and this Easement shall terminate with respect to the Temporary Easement Premises until the earlier of completion of landscape restoration or January 1, 2019.

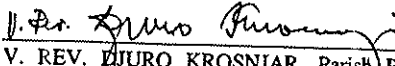
6. **RIGHTS RESERVED.** GRANTOR shall have the right to use the Property, or any portion thereof, or any property of GRANTOR adjoining the Property for any purpose not inconsistent with the full use and enjoyment of the rights granted herein in favor of GRANTEE. However, obstructions shall not be placed over, in, or upon the Permanent Easement Premises or the Temporary Easement Premises without the prior written consent of GRANTEE, except that once the term of this Easement has terminated with respect to the Temporary Easement Premises, obstructions shall not be placed over, in, or upon the Temporary Easement Premises.

7. **MISCELLANEOUS.** No modification or amendment of this Easement shall be of any force or effect unless in writing executed by both GRANTOR and GRANTEE and recorded in the public records of Lake County, Illinois. If GRANTOR or GRANTEE obtains a judgment against the other party by reason of breach of this Easement, attorneys' fees and costs shall be included in such judgment. This Easement shall be interpreted in accordance with the laws of the State of Illinois.

IN WITNESS THEREOF, GRANTOR and GRANTEE have caused these presents to be executed as of the day and year first above written.

GRANTOR:

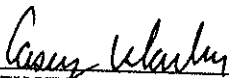
ST. BASIL SERBIAN ORTHODOX CHURCH,
an Illinois religious corporation

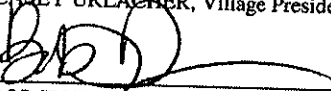
By: 
V. REV. DJURO KROSNJAR, Parish Priest and
President of Board of Trustees

Date: 9-22-2016

GRANTEE:

VILLAGE OF METTAWA,
an Illinois municipal corporation

By: 
CASEY URLACHER, Village President

Attest: 
BOB IRVIN, Deputy Village Clerk

Date: 9/22/16

ACKNOWLEDGMENTS

STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

I, the undersigned, a Notary Public, in and for the County and State aforesaid, DO HEREBY CERTIFY that CASEY URLACHER, personally known to me to be the President of the Village of Mettawa, and BOB IRVIN, personally known to me to be the Deputy Village Clerk of said municipal corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such President and Deputy Village Clerk, they signed and delivered the said instrument and caused the corporate seal of said municipal corporation to be affixed thereto, pursuant to authority given by the Board of Trustees of said municipal corporation, as their free and voluntary act, and as the free and voluntary act and deed of said municipal corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this ~~9th~~^{22nd} day of SEPTEMBER, 2016.

James V. Ferolo
Notary Public



Commission expires: Nov. 9, 2019

STATE OF ILLINOIS)
) SS.
COUNTY OF LAKE)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that V. REV. DJURO KROSNJAR, personally known to me to be the Parish Priest and President of Board of Trustees of St. Basil Serbian Orthodox Church, an Illinois religious corporation, whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument and caused the corporate seal of said religious corporation to be affixed thereto, pursuant to authority given to him as a result of his position, as prescribed by his Diocese Bishop, as the free and voluntary act of said religious corporation, for the uses and purposes therein set forth.

GIVEN under my hand and official seal, this 22nd day of September, 2016.

Carol A. Metivier
Notary Public



Commission expires: 10/3/16

Faint, illegible text or markings in the upper left quadrant of the page.

RECEIVED
FEB 21 1964
U.S. DEPARTMENT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION

GROUP EXHIBIT A

**DEPICTION AND LEGAL DESCRIPTION OF THE PROPERTY, THE PERMANENT
EASEMENT PREMISES AND THE TEMPORARY EASEMENT PREMISES**

(attached)

EXHIBIT A-1

LEGAL DESCRIPTIONS

The Property is legally described as:

Parcel 1: Lot 1 in Church of the Redeemer Subdivision, being a Resubdivision of Lots 1 and 2 in Rolling Meadows of Mettawa Subdivision, according to the Plat of Resubdivision recorded September 24, 1999 as Document 4425023, in Lake County, Illinois.

Parcel 2: Easement for ingress and egress over Maureen Lane, (except for that part in Parcel 1) as shown on the plat of Subdivision recorded April 10, 1979 as Document 1987676.

The Real Property or its address is commonly known as 27450 N. Bradley Rd., Lake Forest, IL. The Real Property tax Identification number is 11-26-402-016-0000 & 11-26-402-025.

The Permanent Easement Premises is legally described as:

A storm sewer easement hereby granted over part of Lot 1 in Church of the Redeemer Subdivision according to the plat thereof recorded as Document No. 4425023 on September 24th, 1999, in the south east 1/4 of Section 26, Township 44 North, Range 11 East of the 3rd Principal Meridian, Village of Mettawa, Lake County, Illinois described as follows: beginning at the north east corner of said Lot 1; thence west along the north line of said Lot 1 50.00 feet; thence southeasterly 53.80 feet, more or less, to a point on the east line of said Lot 1 20.00 feet south of said north east corner of Lot 1; and thence north along said east line of Lot 1 20.00 feet to the point of beginning.

The Real Property or its address is commonly known as 27450 N. Bradley Rd., Lake Forest, IL. The Real Property tax Identification number is 11-26-402-016-0000 & 11-26-402-025.

The Permanent Easement Premises consist of five hundred square feet (500').

The Temporary Easement Premises is legally described as:

The northerly 20 feet and the easterly 20 feet of Lot 1 in Church of the Redeemer Subdivision according to the plat thereof recorded as Document No. 4425023 on September 24th, 1999, in the south east 1/4 of Section 26, Township 44 North, Range 11 East of the 3rd Principal Meridian, Village of Mettawa, Lake County, Illinois

The Real Property or its address is commonly known as 27450 N. Bradley Rd., Lake Forest, IL. The Real Property tax Identification number is 11-26-402-016-0000 & 11-26-402-025.

The Permanent Easement Premises consist of five hundred square feet (500').

The Temporary Easement Premises consist of twenty seven thousand six hundred ten square feet (27,610').

EXHIBIT B

for
 a storm sewer easement hereby granted over part of Lot 1 in
 Church of the Redeemer Subdivision according to the plat thereof
 recorded as Document No. 4425023 on September 24th, 1989, in
 the south east 1/4 of Section 26, Township 44 North, Range 11
 East of the 3rd Principal Meridian, Village of Mettawa, Lake County,
 Illinois described as follows:
 beginning at the north east corner of said Lot 1; thence west along
 the north line of said Lot 1 50.00 feet; thence southeasterly 53.80
 feet, more or less, to a point on the east line of said Lot 1 20.00
 feet south of said north east corner of Lot 1; and thence north
 along said east line of Lot 1 20.00 feet to the point of beginning

All dimensions hereon shown unless it is otherwise
 noted are given in feet and decimal parts thereof.

Surveyor's Certificate

State of Illinois }
 County of Lake } s.s.

In behalf of James Anderson Company, Inc., we as Illinois Professional Land Surveyors
 do hereby certify that the plat hereon shown has been prepared from survey and official
 records for the purpose of granting an easement and that this plat is a correct
 representation of the easement described in the caption of this plat.

dated at Lake Bluff, Illinois, this 18th day of August, 2016

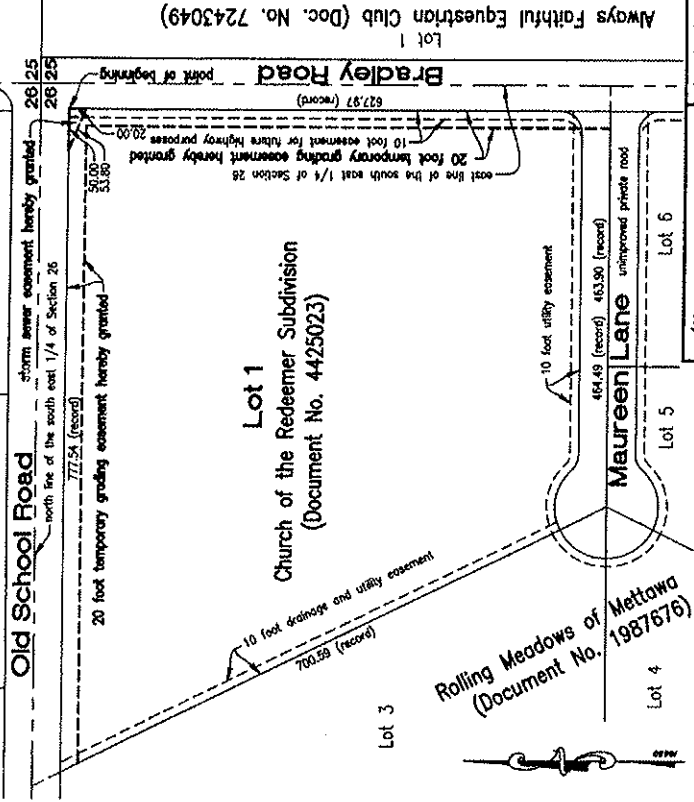
James Anderson Company, Inc.

By _____
 Illinois Professional Land Surveyor No. 3016
 license expiration date: November 30, 2016

Attest _____
 as Assistant Secretary-Treasurer of said Company

Order No. _____
 Field Book _____ page _____
 Date August 16, 2016
 File No. _____

JAMES ANDERSON COMPANY
 Professional Land Surveyors
 820 West North Shore Drive
 Lake Bluff, Illinois, 60044
 847-382-8322
 Our work is guaranteed for over 100 years
 Copyright © 2016, James Anderson Company, Inc.
 Professional Design Firm 184-000647



from the office of:

for
Village of Mettawa
 26225 North Riverwoods Road
 Box M
 Mettawa, Illinois, 60045



② 628630
WARRANTY DEED

Statutory (Illinois)
(Corporation to Corporation)

4425024

MAIL TO: NICHOLAS M. DURIC
4849 N. MILWAUKEE #300
CHICAGO, IL 60630

Filed for Record in:
LAKE COUNTY, IL
MARY ELLEN VANDERVENTER - RECORDER
On Sep 24 1999
At 4:21pm
Receipt #: 193051
Doc/Type: WD
Deputy - Cashier #1

NAME & ADDRESS OF TAXPAYER:

ST. BASIL SERBIAN
ORTHODOX CHURCH
14077 W. OLDSCHOOL Rd
LIBERTYVILLE, IL 60048

RECORDER'S STAMP

THE GRANTOR CHURCH OF THE REDEEMER, an Illinois ^{religious} corporation
a corporation created and existing under and by virtue of the laws of the State of Illinois and duly authorized to
transact business in the State of Illinois for and in consideration of TEN and NO/100 (\$10.00)--- DOLLARS
and other good and valuable considerations in hand paid, and pursuant to authority given by the Board of
Directors of said corporation, religious
CONVEYS AND WARRANTS TO SANT BASTI SERBIAN ORTHODOX CHURCH, an Illinois ~~not-for~~
profit corporation

a corporation organized and existing under and by virtue of the laws of the State of Illinois having its
principal office at the following address: 825 S. Waukegan Rd., PMB A8-207, Lake Forest, IL 60045
all interest in the following described Real Estate situated in the County of Lake, in the State of
Illinois, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

NOTE: If additional space is required for legal - attach on separate 8-1/2 x 11 sheet.

Permanent Real Estate Index Number(s): 11-26-402-016

Property Address: 14077 W. Old School Road, Mettawa, Illinois 60048

In Witness Whereof, said Grantor has caused its corporate seal to be hereto affixed, and has caused its name to be signed
to these presents by its Director President, and attested by its Director Secretary, this 20 day of
September, 1999.

Name of Corporation: CHURCH OF THE REDEEMER

IMPRESS
CORPORATE
SEAL HERE

By [Signature] (SEAL)
Directors

ATTEST: [Signature] (SEAL)
Director Secretary

NOTE: PLEASE TYPE OR PRINT NAME BELOW ALL SIGNATURES

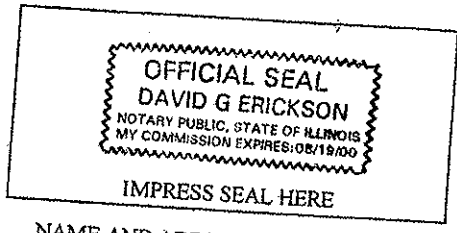
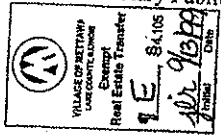
755.0 94
3

STATE OF ILLINOIS }
County of _____ } ss

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY THAT James A. Skirner and David R. Leigh personally known to me to be the Directors of the Church of the Redeemer Corporation, and Kent S. Street personally known to me to be the Director of said corporation, and personally known to me to be the same persons whose names are subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that as such authorized President and Directors + Secretary, they signed and delivered the said instrument and caused the corporate seal of said Corporation to be affixed thereto, pursuant to the authority given by the Board of Directors of said corporation, as their free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.
Given under my hand and notarial seal, this 20 day of September, 1999

My commission expires on _____, 19____

David Erickson
Notary Public



COUNTY - ILLINOIS TRANSFER STAMPS

EXEMPT UNDER PROVISIONS OF PARAGRAPH b SECTION 4, REAL ESTATE TRANSFER ACT
DATE: David Erickson
Buyer, Seller or Representative

NAME AND ADDRESS OF PREPARER:
David G. Erickson
1625 Shermer Road
Northbrook, IL 60062

** This conveyance must contain the name and address of the Grantee for tax billing purposes : (Chap. 55 ILCS 5/3-5020) and name and address of the person preparing the instrument: (Chap. 55 ILCS 5/3-5022).

TO REORDER, PLEASE CALL
MID AMERICA TITLE COMPANY
(708) 249-4041

4425024

TO _____
FROM _____
WARRANTY DEED
Statutory (Illinois)
(Corporation to Corporation)

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL 1: LOTS 1 AND 2 IN ROLLING MEADOW OF METTAWA, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 44 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 10, 1979 AS DOCUMENT 1987676, IN BOOK 69 OF PLATS, PAGE 46, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS OVER MAUREEN LAKE, (EXCEPT FOR THAT PART IN PARCEL 1) AS SHOWN ON THE PLAT OF SUBDIVISION RECORDED APRIL 10, 1979 AS DOCUMENT 1987676, IN LAKE COUNTY, ILLINOIS.

~~ALTERNATIVE LEGAL DESCRIPTION FOR PARCEL 1, AS FOLLOWS:~~ ^{NOW KNOWN} LOT 1 IN CHURCH OF THE REDEEMER SUBDIVISION, BEING A RESUBDIVISION OF LOTS 1 AND 2 IN ROLLING MEADOWS OF METTAWA SUBDIVISION, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED 9-24-99, 1999 AS DOCUMENT 4425023, IN LAKE COUNTY, ILLINOIS.

SUBJECT TO:

- (i) GENERAL TAXES NOT YET DUE AND PAYABLE AS OF THE DATE HEREOF;
- (ii) EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN THE ROLLING MEADOW OF METTAWA SUBDIVISION AS MODIFIED BY THE CHURCH OF THE REDEEMER SUBDIVISION.
- (iii) ACTS DONE OR SUFFERED BY, OR JUDGMENTS AGAINST, PURCHASER.

CAAh9903.log

4425024

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